

VITAL COMMUNITY - 375 SWANSEA ROAD LILYDALE VIC 3140

DRAWING LIST		
DWG #	DRAWING NAME	REV
D-000	COVER SHEET	N
D-000A	COVER SHEET	N
D-001	CONTEXT PLAN	N
D-002	SITE PLAN - LEASE AREA	N
D-002A	SITE PLAN - HOUSE SITING	N
D-003	SITE SECTIONS	N
D-004	INTERNAL STREETSCAPES	N
D-005	AKARANA RD INTERFACE	N
D-006	SWANSEA ROAD FENCE DETAILS	N
D-007	SWANSEA ROAD FENCE DETAILS	N
D-008	SWANSEA ROAD FENCE DETAILS	N
D-009	SWANSEA ROAD FENCE DETAILS	N
D-010	CLUB HOUSE	N
D-011	HOUSE DESIGN - SOLARIS 146	N
D-012	HOUSE DESIGN - SOLARIS 155	N
D-013	HOUSE DESIGN - IRONBARK	N
D-014	HOUSE DESIGN - CARLISLE	N
D-015	HOUSE DESIGN - SHAMROCK	N
D-016	EXTERNAL FINISHES	N

- REFER ALSO TO:**
- SERVICING REPORT
 - ARBORICULTURAL ASSESSMENT
 - BIODIVERSITY ASSESSMENT
 - STORMWATER MANAGEMENT PLAN
 - LANDSCAPE CONCEPT PLAN
 - TRAFFIC IMPACT ASSESSMENT
 - WASTE MANAGEMENT PLAN



CENTRAL PARKLAND VISTA

ADVERTISED

SWANSEA ROAD FRONTAGE

Enhancing the urban form along Swansea Road has been a key driver of the design approach. Preserving vistas to Olinda Creek and providing new trees to the existing degraded landscape on the site has been achieved in this masterplan for the community. The design balances acoustics, safety, security, privacy, community, urban form, vistas to Olinda Creek and regenerative landscape planting.

GUIDING PRINCIPLES

The design outcome is based on providing Affordable Housing for the over 55 year old cohort via a Land Lease Residential Village. The village will provide Liveable & Adaptable housing, Privacy & Community interaction balance, Dwelling Diversity & Choice and Integration of the built form with nature.

AFFORDABLE EFFICIENT HOUSING

The development brief is to provide a community of 50 dwellings with variety in size, number of bedrooms, number of garages, typology, visual form, colour and texture. The vision is a village garden environment providing the appropriate balance between individual privacy and community interaction. Energy conservation will be a core value in the design, construction and maintenance of the community. Residents choose the home design that best suits their individual needs and budgets from the VITAL homes catalogue.

LANDSCAPE INTENT

Minimise hardstand and maximise softscape.

The land is cleared forest typical of farm land in the area. The landscape intent is to return endemic tree species to the site integrated with the urban built form creating a residential village garden environment. Internal road widths are kept to maximum 5500 wide plus a line marked 1000 wide pedestrian path. The dwelling density is low at 11 dwelling units per Hectare allowing most of the site to be landscaped Community Open Space.

URBAN INTEGRATION

Balance human shelter needs with the natural environment.

The community is designed to fit the context of the larger Lilydale community and add value to the urban rural fusion that characterizes Lilydale. Careful attention to the design of the acoustic fence along Swansea Road will include a variety of materials and a stepped form. The recesses formed will provide planters for small/medium size trees, shrubs, cascading and climbing plants to integrate with the fence materials. Verge trees at about twelve metre spacing will provide a balance of hardscape and softscape elements. Canopy trees planted immediately behind the fence will add another layer of vegetation to the streetscape. The verge on Swansea Road falls away to a wetlands area at the intersection with Akarana Road and the boundary retaining required is stepped rustic concrete sleepers forming several layers of landscape planting beds stepping up and away from the retained wetlands and surface drainage that continues west along Akarana Road. To the North there is the opportunity to provide eyes on the park and Akarana Road plus an active pedestrian interface with both. Community open spaces and private living spaces overlooking the wetlands to the west.

URBAN DESIGN INTENT

Create Livable and Adaptable communities.

Create green streets and open garden spaces integrated with the built form of the dwellings. Internal streets are shared pathways for vehicles and pedestrians with 10Kph maximum speed control providing active user friendly streets that are overlooked by private indoor and outdoor living spaces to optimise safety and security in the community. The residential village is a self-contained community that integrates with the larger urban community for all major services. The fundamental design objective is to provide affordable dwellings that provide a high quality environment for an older cohort to age in place in their own independent dwellings.

PRELIMINARY not for construction	SITE 375 SWANSEA ROAD LILYDALE VIC 3140	DATE	DESCRIPTION	BY	REV	SHEET	A3
	CLIENT LILYDALE MANAGEMENT SERVICES P/L MONDOARCHITECTS design@mondoarchitects.com.au T 0418 751 070 MONDOARCHITECTSPTY LTD ABN 64 085 992 990	09.11.22	DEVELOPMENT APPLICATION ISSUE V5	JL	E	D-000	COVER SHEET
		21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F		
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		16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H		
		26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K	PROJECT 4967	SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY
	04.07.23	RFI	JL	L			
	26.07.23	RFI UPDATES	JL	M			
	22.11.23	MW RFI UPDATE	JL	N			

COMMUNITY ENGAGEMENT

Balance household privacy and community interaction.

Built form is directed by the idea that the occupants shall determine the level and timing of how they balance their own privacy and engagement with their neighbors. The built form includes private indoor and outdoor spaces; filtered privacy between the public domain and the private domain; safe public pavements and landscaped pocket parks. Each dwelling has a small front yard and private rear yard. Communal garden spaces include raised garden beds that can be community shared gardening or allocated to individuals for gardening activity. Setbacks from front porch to shared pavements are minimal to encourage engagement and eyes on the street.

The community has a multifunctional clubhouse, swimming pool and bowling green. Outdoor exercise equipment, barbecues and picnic huts are scattered throughout the expansive Community Open Spaces.

DWELLING DIVERSITY

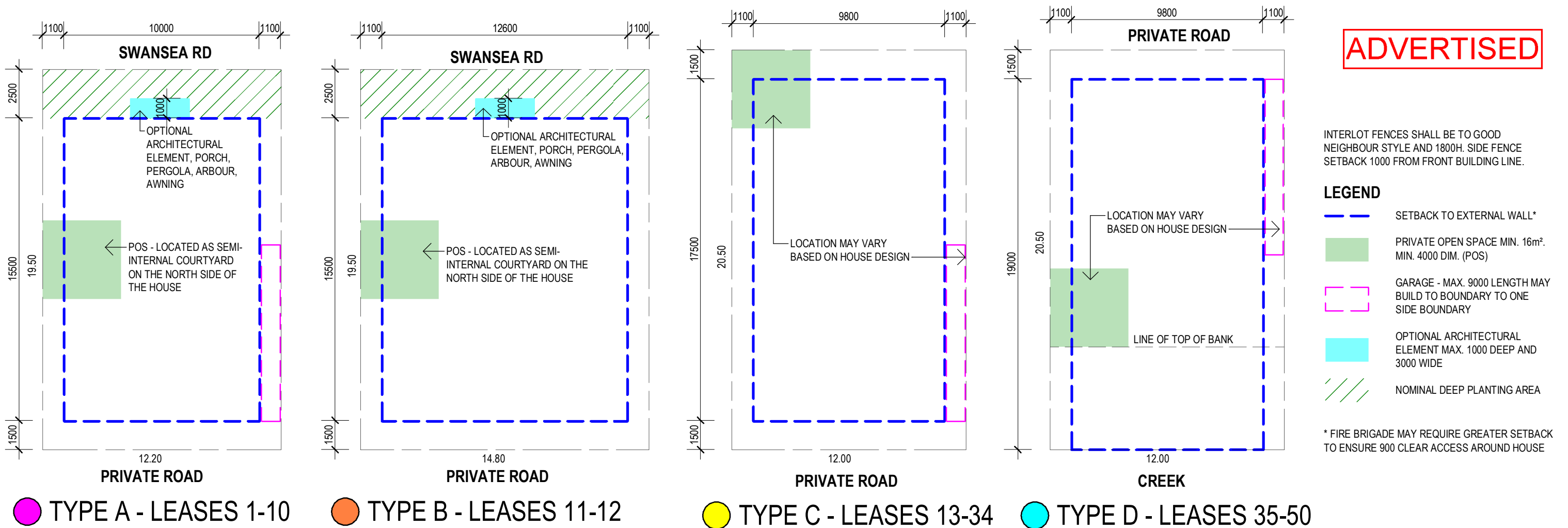
Provide choice to residents in the size and features of their home.

There is a mix of dwelling options available in the community and all dwellings are designed to enhance ageing in place. Two and three bedroom designs, single and double garage design villas provide an appropriate range of lifestyle choices. Variety in building forms, materials, textures and colours provide both individuality to each residence and a pattern of community style. Each resident selects their own preferred design from the VITAL Homes catalogue and then the exterior and interior colour schemes that they prefer.

ECOLOGY

Integrate built form with nature.

All dwellings have good access to sunshine, shade, fresh air, breezes, cross flow ventilation and the changing patterns of light during the day. The best standards of energy efficient heating and cooling devices and renewable energy generation to storage are available to residents when they select their home from the VITAL design catalogue. Low maintenance materials and durable finishes are used throughout.



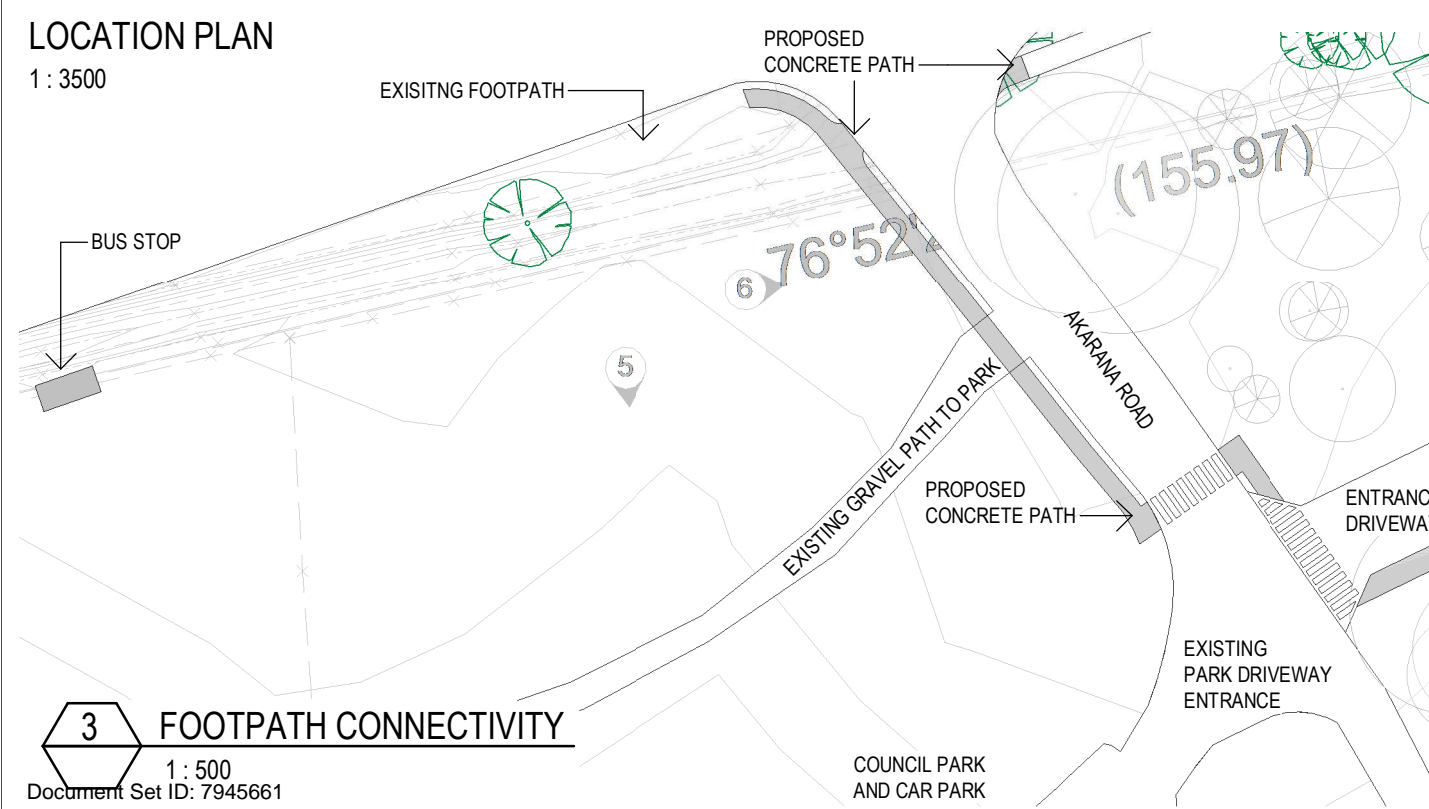
URBAN FORM BUILDING CONTROLS

The VITAL community has its own standards to ensure that dwellings and land use maintain high standards of built form outcomes. Residents purchase their own home, exterior colour scheme and interior colour scheme from the VITAL catalogue and lease their selected parcel of land. The built form on the land is controlled by the Lease Area Entitlements (LAE).

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			04.07.23	RFI	JL	L	4967	
		26.07.23	RFI UPDATES	JL	M			
		22.11.23	MW RFI UPDATE	JL	N			
	CLIENT	LILYDALE MANAGEMENT SERVICES P/L						
		MONDOARCHITECTS						
		design@mondoarchitects.com.au T 0418 751 070 MONDOARCHITECTSPTY LTD ABN 64 085 992 990						



SITE PHOTOS FROM SWANSEA ROAD



CONTEXT PLAN
1: 1500

PRELIMINARY not for construction	SITE 375 SWANSEA ROAD LILYDALE VIC 3140	DATE 09.11.22 21.11.22 24.11.22 16.12.22	DESCRIPTION DEVELOPMENT APPLICATION ISSUE V5 DEVELOPMENT APPLICATION ISSUE V6 DEVELOPMENT APPLICATION ISSUE V7 DEVELOPMENT APPLICATION ISSUE V8	BY JL JL JL JL	REV E F G H	SHEET D-001	PROJECT 4967	A3
	CLIENT LILYDALE MANAGEMENT SERVICES P/L MONDO ARCHITECTS <small>design@mondoarchitects.com.au T 0418 751 070 MONDOARCHITECTSPTY LTD ABN 64 085 992 990</small>	DATE © 26.04.23 04.07.23 26.07.23 22.11.23	DESCRIPTION DEVELOPMENT APPLICATION ISSUE V9 RFI RFI UPDATES MW RFI UPDATE	BY JL JL JL JL	REV K L M N	SHEET D-001	PROJECT 4967	CONTEXT PLAN
	SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY							

3 FOOTPATH CONNECTIVITY
1: 500

LAND LEASE AREA LEGEND

REFER D-000A FOR LEASE AREA ENTITLEMENTS

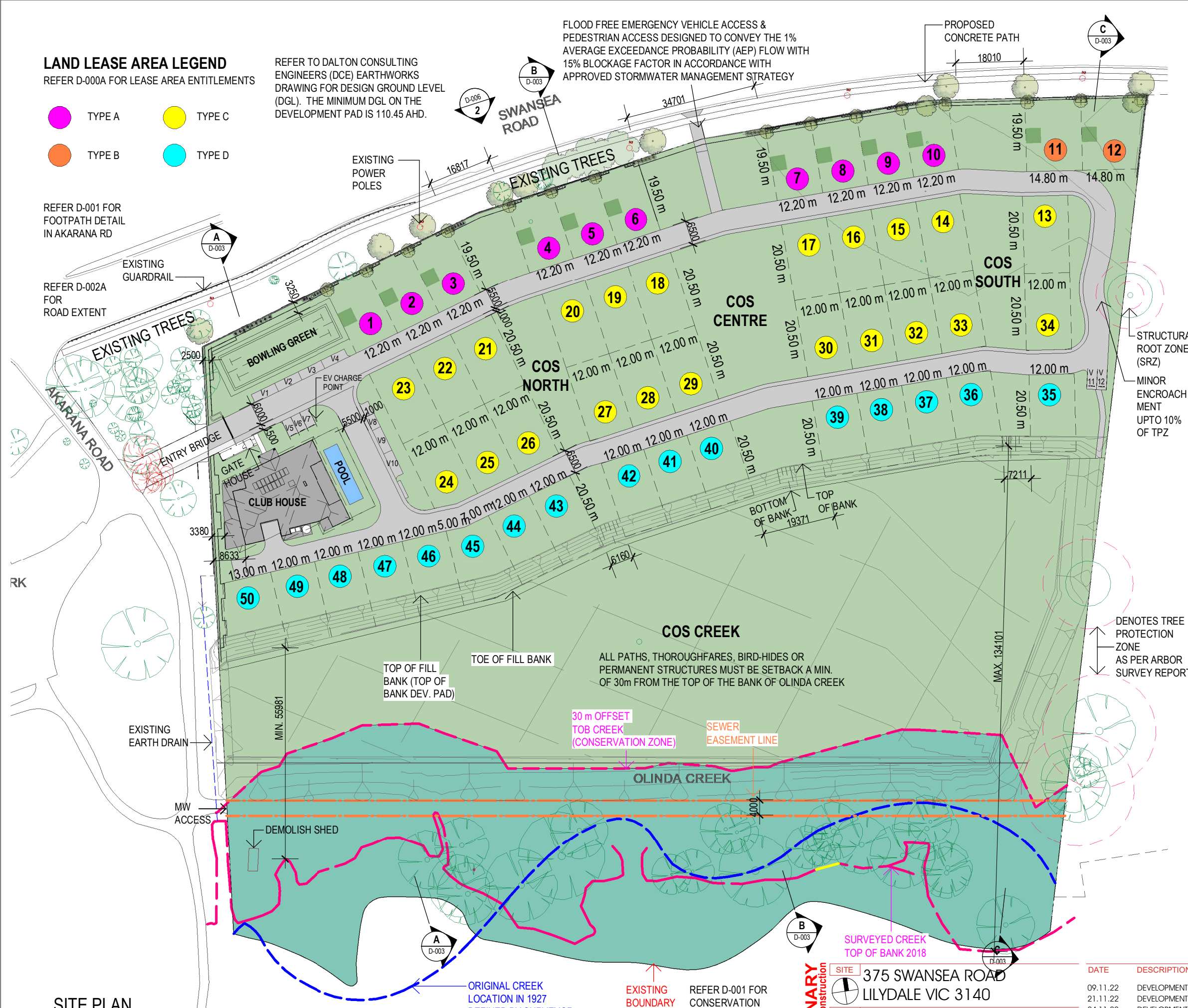
- TYPE A
- TYPE C
- TYPE B
- TYPE D

REFER D-001 FOR FOOTPATH DETAIL IN AKARANA RD

REFER D-002A FOR ROAD EXTENT

REFER TO DALTON CONSULTING ENGINEERS (DCE) EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL). THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.

FLOOD FREE EMERGENCY VEHICLE ACCESS & PEDESTRIAN ACCESS DESIGNED TO CONVEY THE 1% AVERAGE EXCEEDANCE PROBABILITY (AEP) FLOW WITH 15% BLOCKAGE FACTOR IN ACCORDANCE WITH APPROVED STORMWATER MANAGEMENT STRATEGY



DEVELOPMENT TABLE

ADDRESS: 375 SWANSEA ROAD, LILYDALE, VIC 3140
 LOT: 2 on PS639506
 LOCAL GOVERNMENT: YARRA RANGES COUNCIL

LAND AREA	4.617 Ha	
COS CREEK	2.232 Ha	COS below the 100 YFL
DEVELOPMENT PAD AREA	2.385 Ha	Area compliant for development above 100 YFL
LAND LEASE AREA	12,429m ²	50 lease areas - average size = 248m ²
HARDSTAND AREA	3,941m ²	internal roads, paths & carparking
COS ABOVE 100 YFL	7,095m ²	includes bowling green, swimming pool, clubhouse gardens, COS North, COS Centre & COS South
CLUBHOUSE GBA	591m ²	
SITE COVER	8,184m ²	18% based on Land Area 36% based on Development Pad Area
SOIL PERMEABILITY	34,045m ²	73.7% based on Land Area
VISUAL PERMEABILITY	40% Swansea Rd 100% Akarana Rd 100% Olinda Creek	Based on visual permeability provided through open security fencing. The community is a secured estate for older people
TOTAL DWELLINGS UNITS	50	
RESIDENT CAR PARKS	79	65 required
VISITOR CAR PARKS	12	10 required

LAND USE TABLE (square metres)

TOTAL LAND AREA	41,617	= 23,850 ABOVE 100 YFL (DEVELOPMENT PAD) + 22,320 BELOW 100 YFL (COS CREEK)
DEVELOPMENT PAD	23,850	= 940 COS NORTH + 2,200 COS CENTRE + 1,081 COS SOUTH + 2,874 COS OTHER + 3,941 HARDSTAND ROADS, PATHS & PARKING + 12,429 LAND LEASE AREA

ABBREVIATIONS

- 100 YFL 100 Year Flood Level
- VGL Verge Ground Level
- DGL Design Ground Level
- COS Community Open Space
- POS Private Open Space
- GBA Gross Building Area (Total of internal & roofed external space)
- LAE Lease Area Entitlements

ADVERTISED

SITE PLAN

1 : 1000

READ IN CONJUNCTION WITH LANDSCAPE ARCHITECTS DRAWINGS

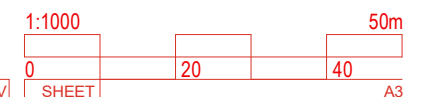
PRELIMINARY not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140

CLIENT LILYDALE MANAGEMENT SERVICES P/L

MONDOARCHITECTS
design@mondoarchitects.com.au T 0418 751 070
MONDOARCHITECTSPTY LTD ABN 64 085 992 990

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20.04.23	UNCONTROLLED ISSUE	JL	J
26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K
04.07.23	RFI	JL	L
26.07.23	RFI UPDATES	JL	M
22.11.23	MW RFI UPDATE	JL	N



D-002 SHEET 20 OF 40 A3

PROJECT 4967
 SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

- Each water tank to be connected to dwelling's toilet and irrigation system.
- All dwellings without water tank to have a third pipe connection installed with the option for future water tank installation.
- Clubhouse water tank to be connected to clubhouse toilets and irrigation system.
- Development to achieve a max. illumination of 4W/sqm or less.
- All common area to be separately sub metered.
- All external lighting to be controlled via motion detectors.
- All landscaping to be water efficient.
- Double glazed windows to all habitable room windows
- EV infrastructure will be provided to all dwellings and club house

- WATER TANK - 7500L @ club house and 8x 3000L for dwellings
- RAIN GARDEN - min. 100m²
- VEGETABLE GARDEN - min. 15m² @ clubhouse and 38m² for residents
- COMPOSTING

REFER TO DALTON CONSULTING ENGINEERS (DCE) EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL). THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.

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PROPOSED CONCRETE PATH

REFER 006-009 FOR FENCE DETAILS



REFER D-001 FOR FOOTPATH DETAIL IN AKARANA RD

REFER D-002A FOR ROAD EXTENT

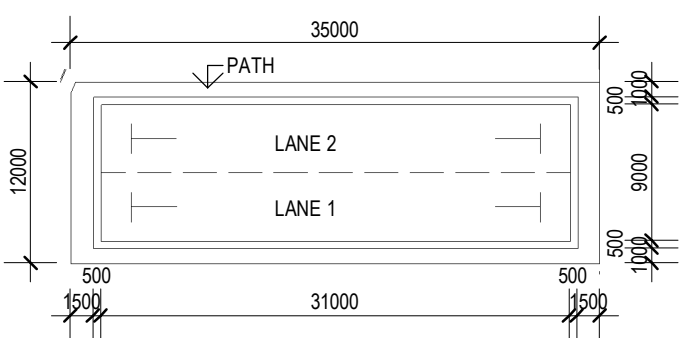
ADVERTISED

HOUSE DESIGN LEGEND

REFER D-000A FOR LEASE AREA ENTITLEMENTS

DESIGN	NO.	BED	CAR
SOLARIS 146	10	2	1
SOLARIS 155	2	2	2
IRONBARK	12	2	2
CARLISLE	11	2	1
SHAMROCK	15	3	2
TOTAL NO.	50	115	79

VISITOR CARPARKS 10 REQUIRED 12 PROVIDED



BOWLING GREEN
1 : 500

SITE PLAN - HOUSE DESIGNS
1 : 1000

PRELIMINARY not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140

CLIENT LILYDALE MANAGEMENT SERVICES P/L

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design@mondoarchitects.com.au T 0418 751 070
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04.07.23	RFI	JL	L
26.07.23	RFI UPDATES	JL	M
22.11.23	MW RFI UPDATE	JL	N

1:1000

0 20 40 50m

D-002A

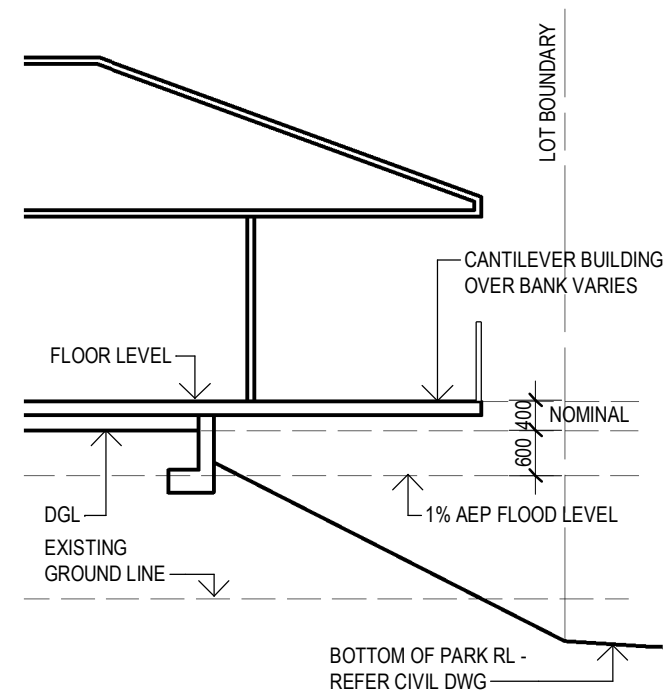
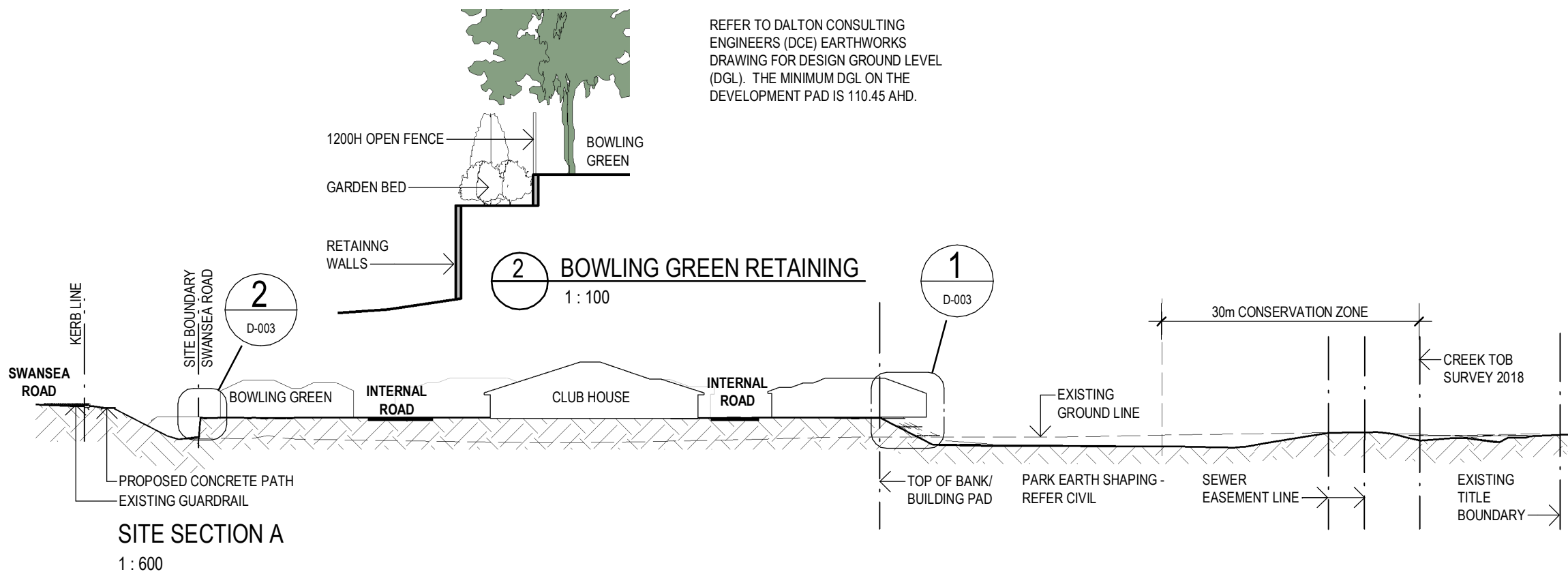
SHEET 20 OF 40

PROJECT 4967

SITE PLAN - HOUSE SITING

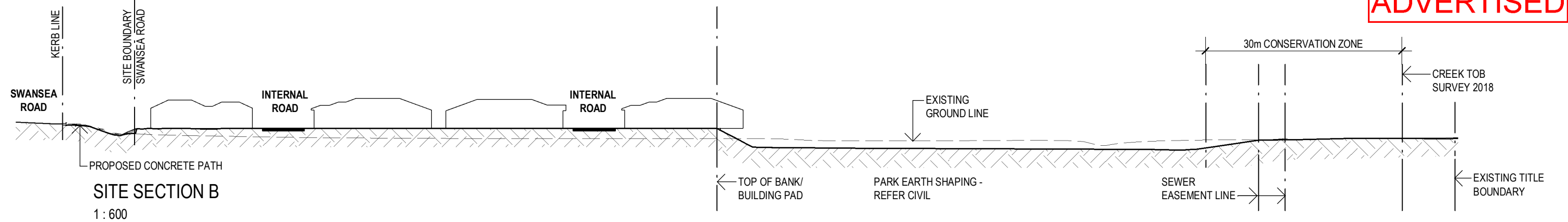
SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY

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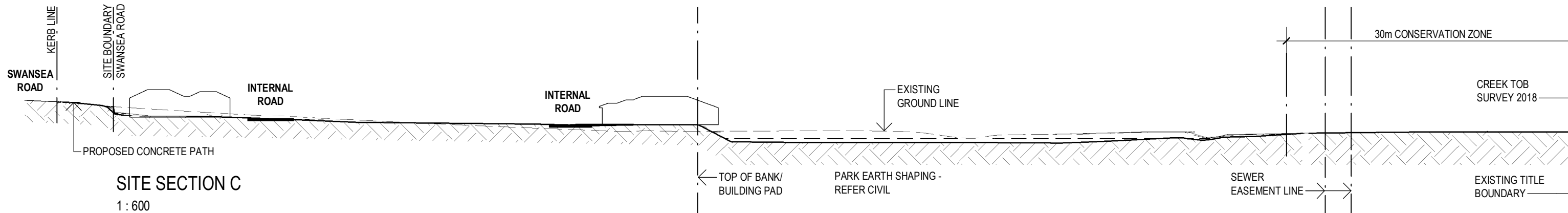


1 CANTILEVER SECTION
1:100

ADVERTISED



SITE SECTION B
1:600



SITE SECTION C
1:600

MINIMUM DESIGN GROUND LEVELS (DGL) SHALL BE 600mm ABOVE 1% AVERAGE EXCEEDANCE PROBABILITY (AEP). DWELLINGS ARE SUPPORTED ON STUMPS AND FLOOR LEVELS ARE NOMINAL 400mm ABOVE DGL. CLUB HOUSE FLOORING IS CONCRETE SLAB ON GROUND AND FLOOR LEVEL IS NOMINAL 200 ABOVE DGL.

PRELIMINARY
not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140
CLIENT LILYDALE MANAGEMENT SERVICES P/L
MONDOARCHITECTS
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26.07.23	RFI UPDATES	JL	M
22.11.23	MW RFI UPDATE	JL	N

SHEET D-003
PROJECT 4967
SWANSEA
RESIDENTIAL VILLAGE
OVER 55 COMMUNITY

SITE SECTIONS

A3

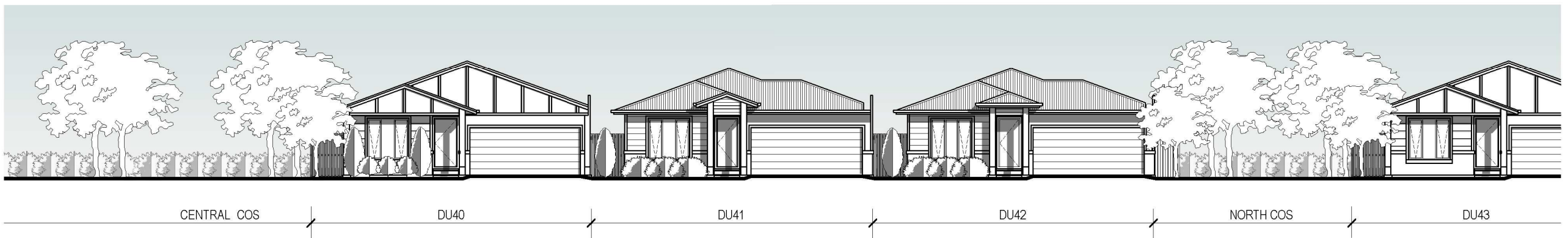


S1 STREETScape

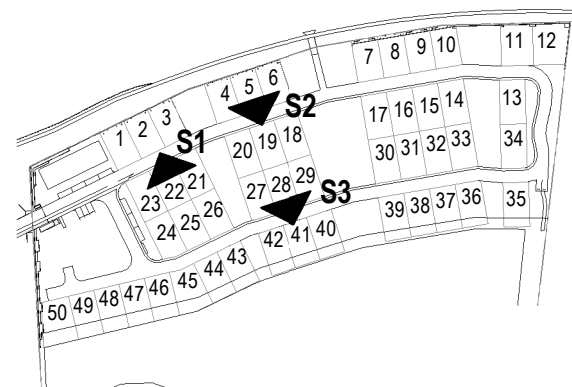


S2 STREETScape

ADVERTISED

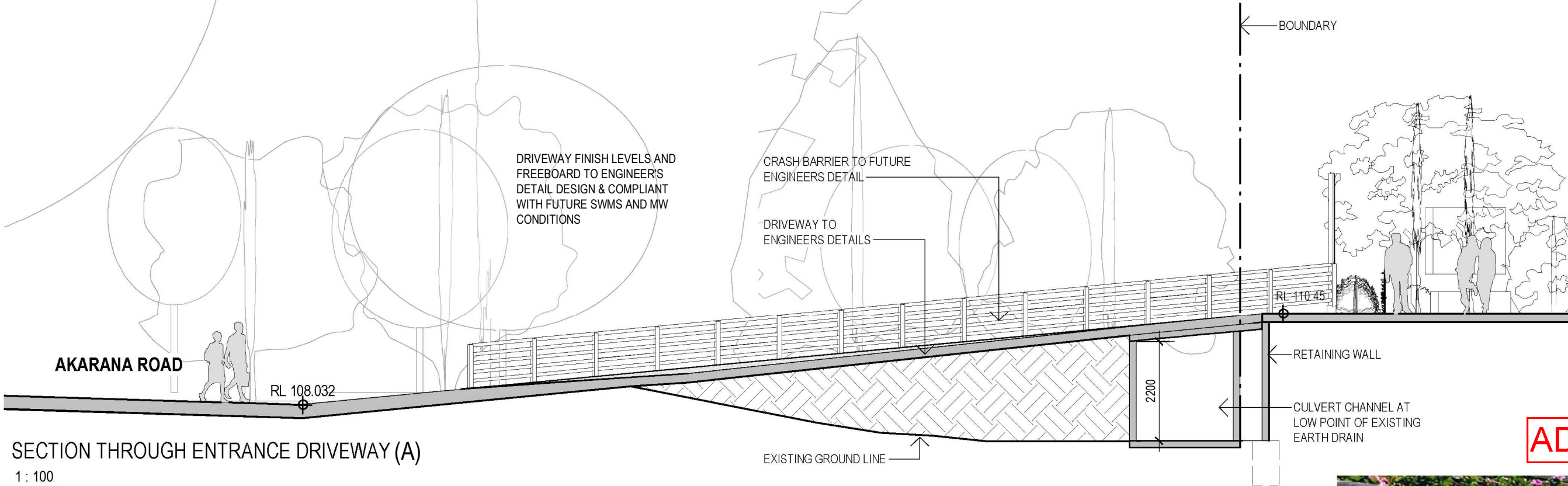


S3 STREETScape



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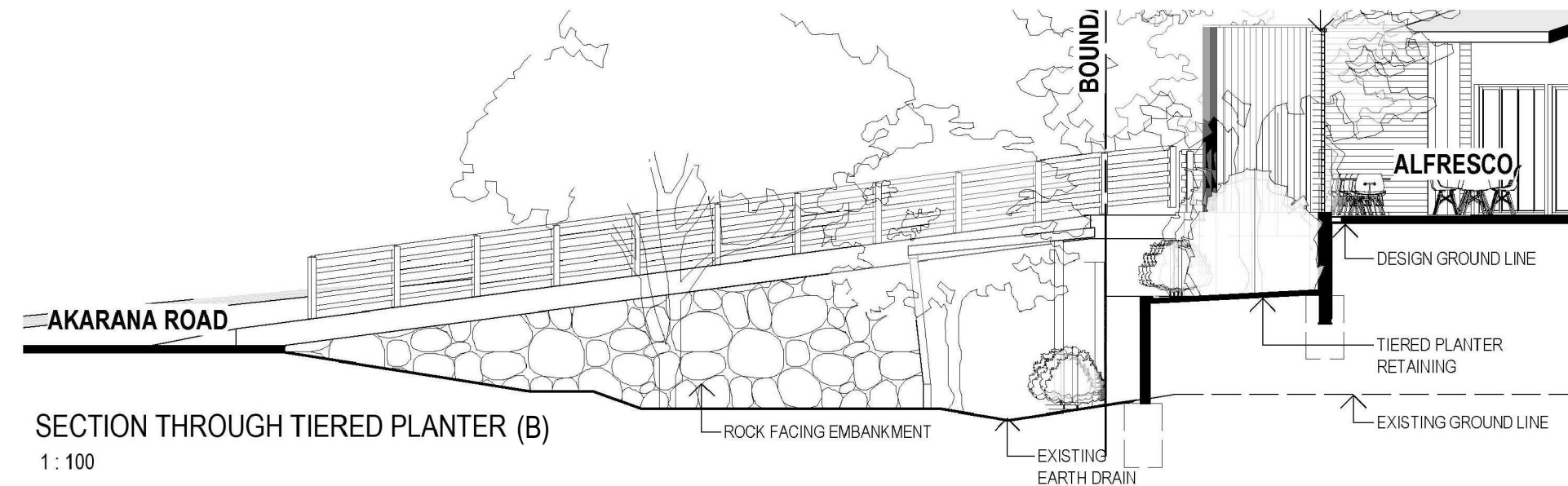
REFER TO DALTON CONSULTING ENGINEERS (DCE) EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL). THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.



SECTION THROUGH ENTRANCE DRIVEWAY (A)

1:100

ADVERTISED

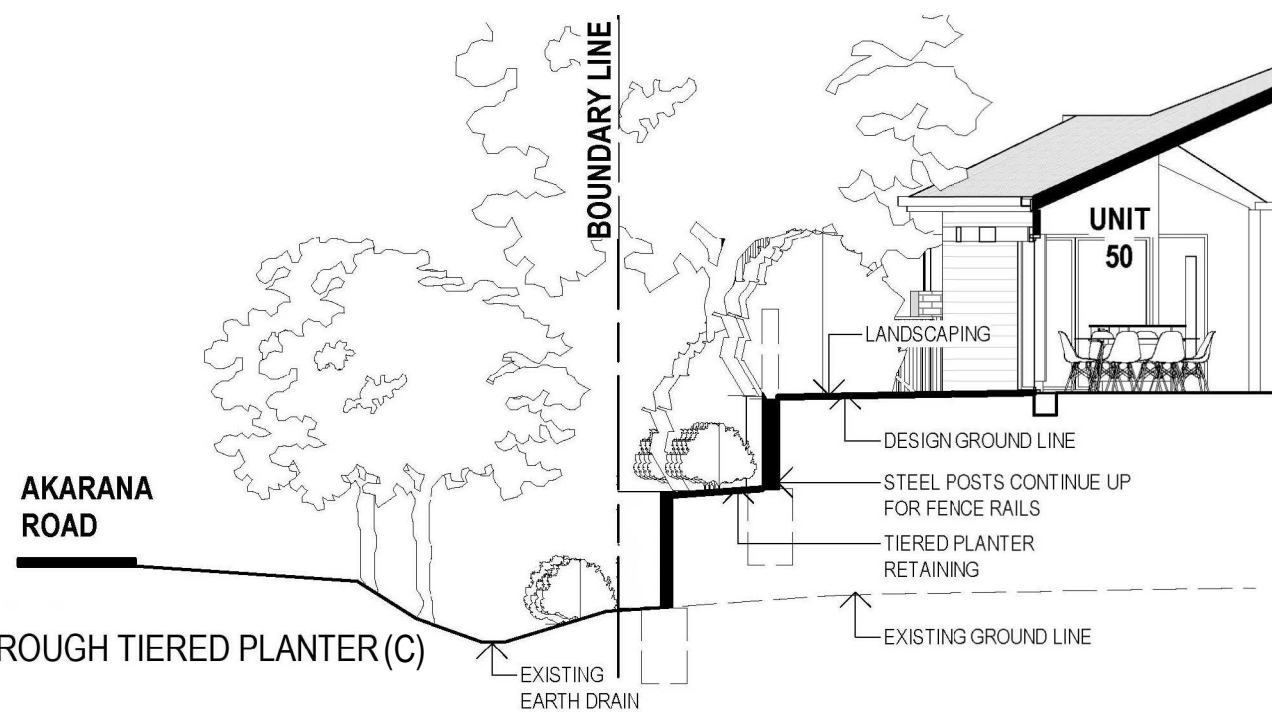


SECTION THROUGH TIERED PLANTER (B)

1:100

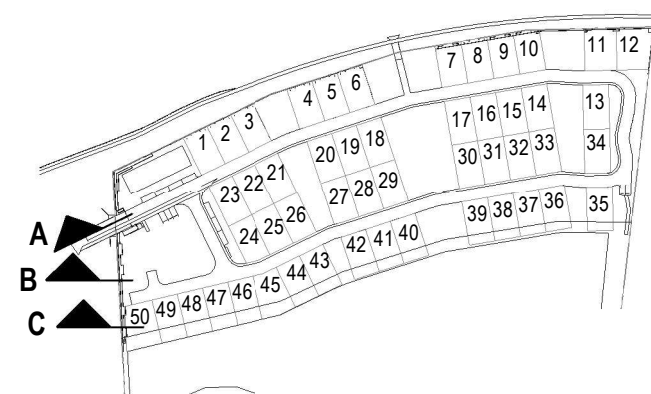


LANDSCAPED TERRACED RETAINING WALL EXAMPLES

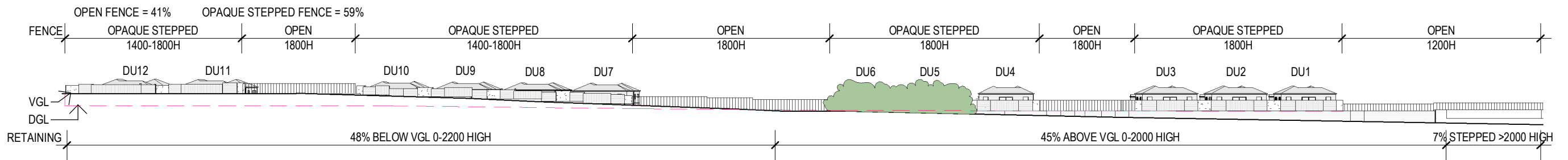


SECTION THROUGH TIERED PLANTER (C)

1:100

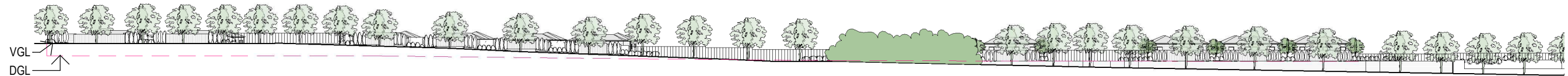


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ELEVATION STATISTICS
1 : 750

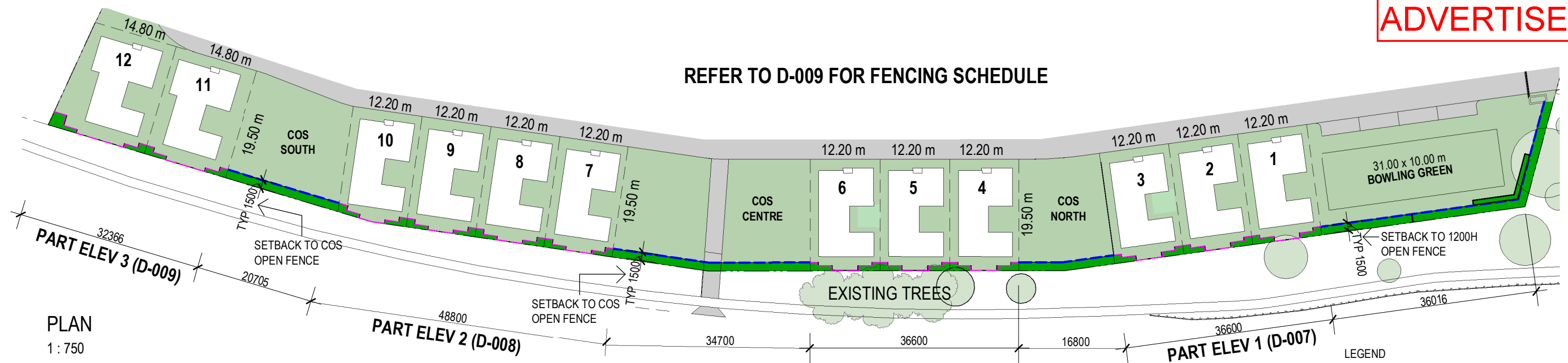
Swansea Road frontage is a composite design of retaining walls, open fencing, opaque privacy fencing and landscape planting. About half of the frontage is retaining walls that are below VGL at the boundary and thus not visible from the road. The maximum height of retaining wall visible above VGL at boundary is capped at 2 metres and where it is required to be above 2 metres the wall is stepped back providing a planted garden bed between two lower walls. There are two groups of dwellings located in the northern half of the frontage where the retaining wall is visible above the VGL at the boundary. Dwellings 4 to 6 are almost totally obscured by existing vegetation on the verge.



ELEVATION WITH LANDSCAPE
1 : 750 (REFER 007-009 FOR DETAILS)

Dwellings 1 to 3 are screened for privacy and security by an 1800 mm high opaque fence. Refer to drawing D-007 for detailed design. The fence is highly articulated multiple recessed or stepped sections that provide garden beds within the property for planting of trees and shrubs to screen the fence and provide an attractive streetscape. Cascading and climbing plant species are included to soften the built form elements of retaining and fencing. Our design includes trees located in the verge at about 12 metre centres, however, the trees and shrubs located within the property provide appropriate landscape integration without the verge trees. Almost half (41%) of the frontage is see through fencing providing open vistas through the landscaped open spaces in the community through to Olinda Creek and beyond

ADVERTISED



PLAN
1 : 750

REFER TO D-009 FOR FENCING SCHEDULE

SWANSEA ROAD

REFER D-007 FOR SETBACK DETAILS

- LEGEND
- STEPPED OPAQUE FENCE (---)
 - OPEN FENCE (---)
 - RECESSED GARDEN BEDS (■)

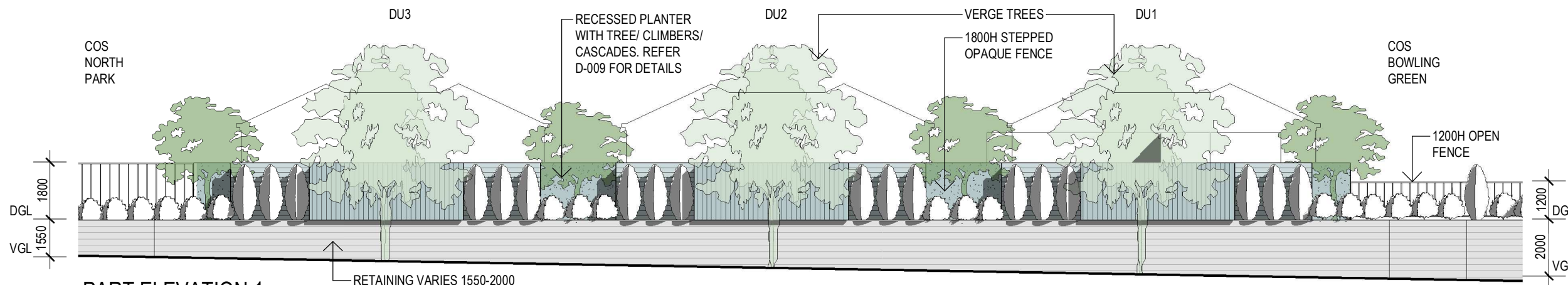
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EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL).
THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.

SWANSEA ROAD FRONTAGE

The Swansea Road elevation clearly demonstrates that the built forms have minimal presence on the street and that the landscape elements overlaid on the built form return the currently degraded vegetation to an attractive garden scape with extensive rural grassland style vistas through to Olinda Creek.

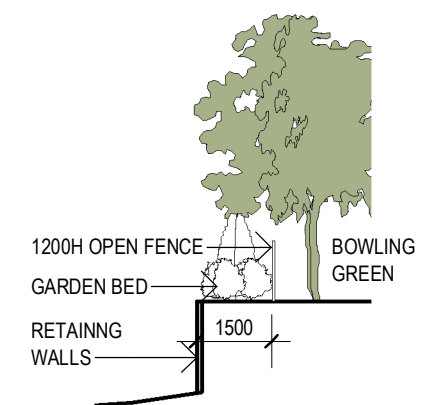
VGL = VERGE GROUND LEVEL @ BOUNDARY
DGL = DESIGN GROUND LEVEL @ BOUNDARY

PRELIMINARY not for construction	SITE	375 SWANSEA ROAD LILYDALE VIC 3140	DATE	DESCRIPTION	BY	REV	SHEET	A3	
	CLIENT	LILYDALE MANAGEMENT SERVICES P/L MONDOARCHITECTS design@mondoarchitects.com.au T 0418 751 070 MONDOARCHITECTSPTY LTD ABN 64 085 992 990	09.11.22	DEVELOPMENT APPLICATION ISSUE V5	JL	E	D-006	SWANSEA ROAD FENCE DETAILS	
			21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F			
			24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G			
				16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H	PROJECT 4967	SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY
				26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K		
				04.07.23	RFI	JL	L		
			26.07.23	RFI UPDATES	JL	M			
			22.11.23	MW RFI UPDATE	JL	N			



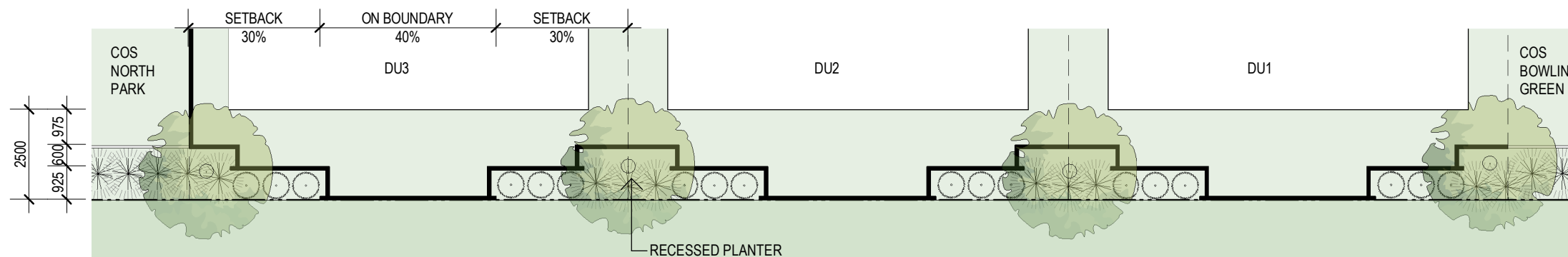
PART ELEVATION 1

1:150



BOWLING GREEN RETAINING

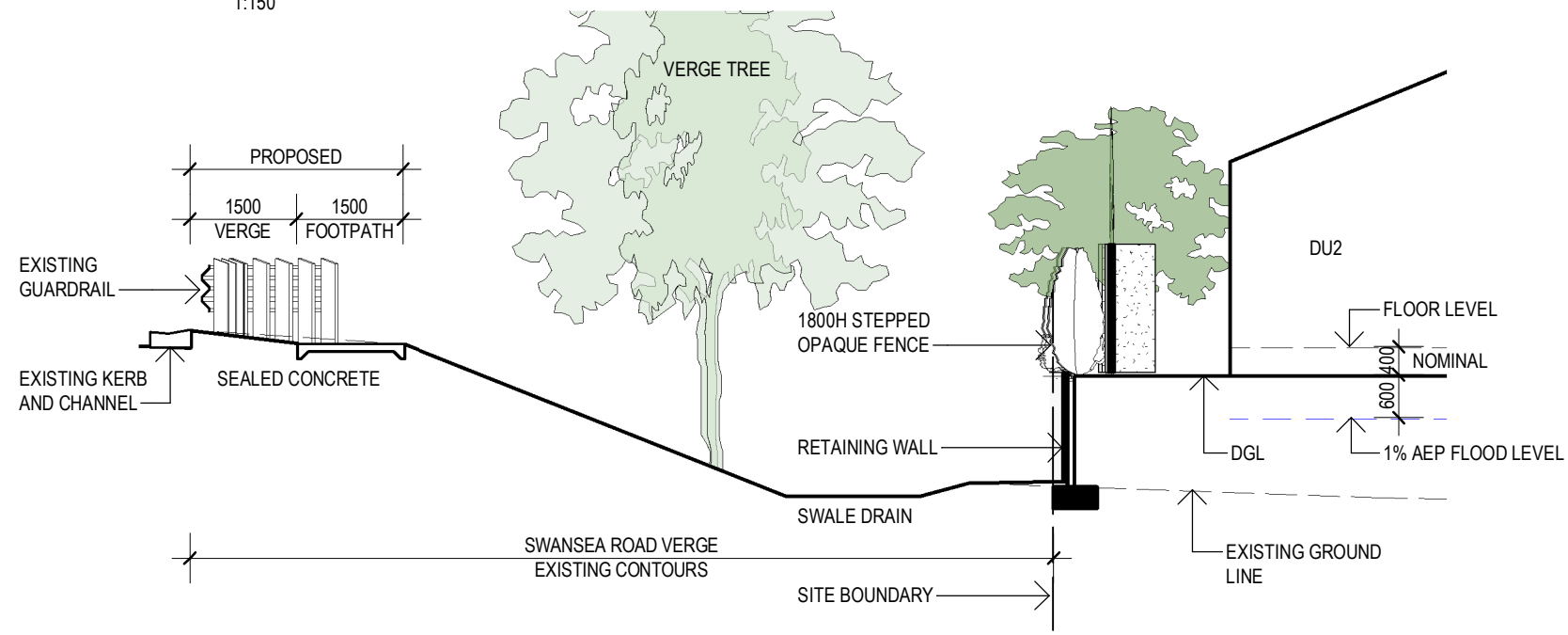
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PART PLAN 1

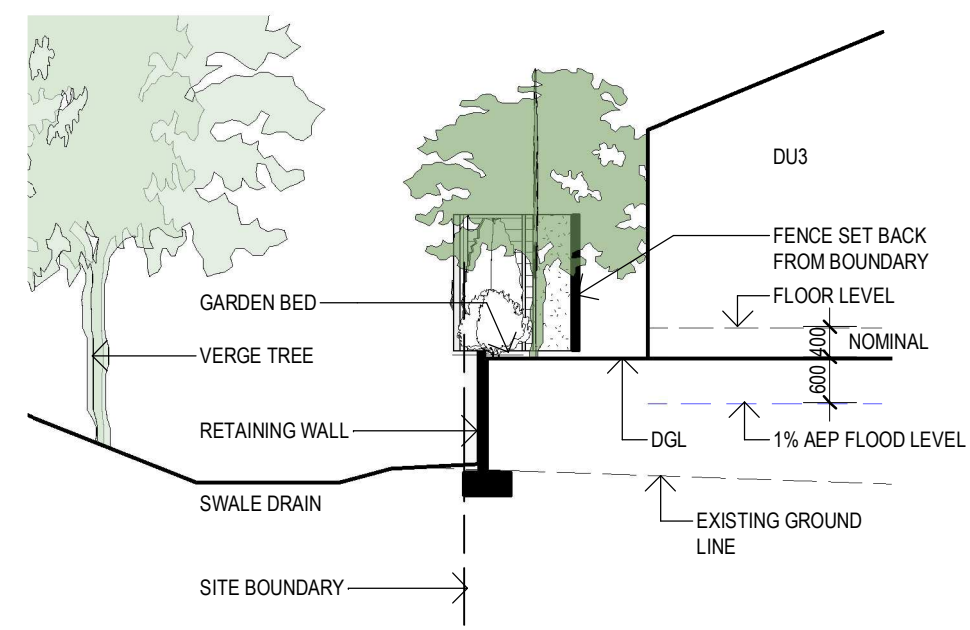
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ADVERTISED



PART SECTION 1

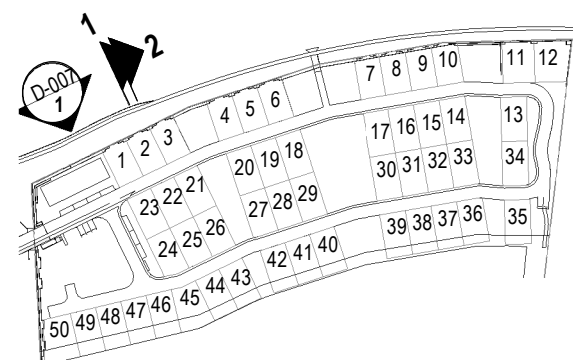
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PART SECTION 2

1:100

REFER TO DALTON CONSULTING ENGINEERS (DCE) EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL). THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.



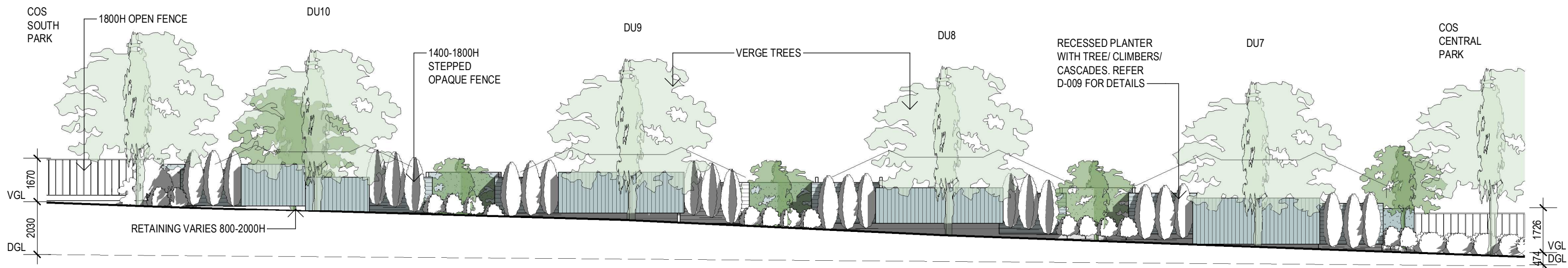
VGL = VERGE GROUND LEVEL @ BOUNDARY
DGL = DESIGN GROUND LEVEL @ BOUNDARY

PRELIMINARY
not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140
CLIENT LILYDALE MANAGEMENT SERVICES P/L
MONDOARCHITECTS
design@mondoarchitects.com.au T 0418 751 070
MONDOARCHITECTSPTY LTD ABN 64 085 992 990

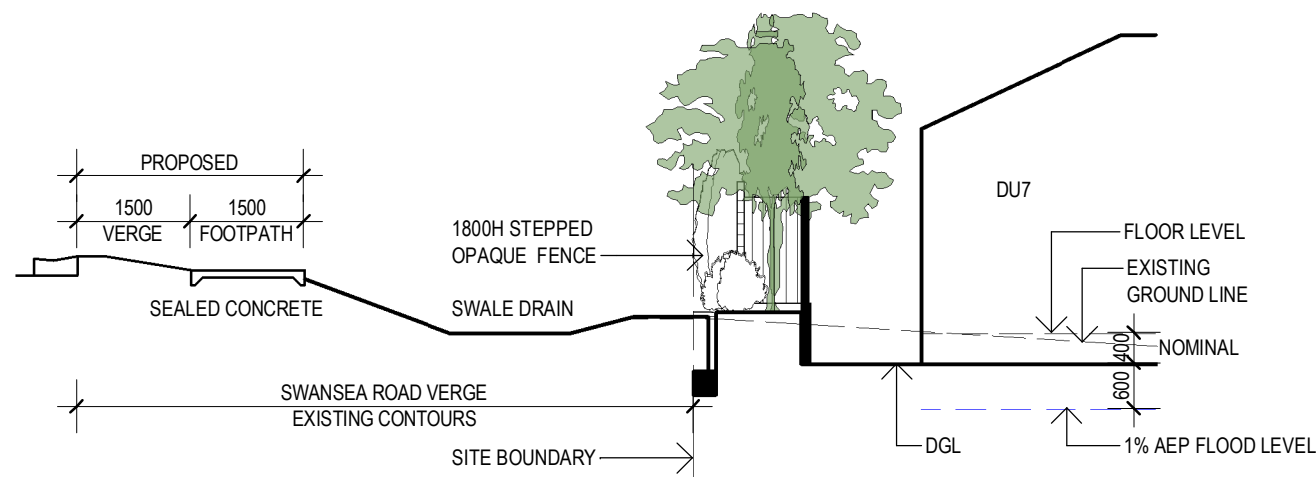
DATE	DESCRIPTION	BY	REV	SHEET
09.11.22	DEVELOPMENT APPLICATION ISSUE V5	JL	E	D-007
21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F	
24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G	
16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H	
26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	J	PROJECT 4967
04.07.23	RFI	JL	K	
26.07.23	RFI UPDATES	JL	L	
26.07.23	RFI UPDATES	JL	M	
22.11.23	MW RFI UPDATE	JL	N	

PROJECT SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY



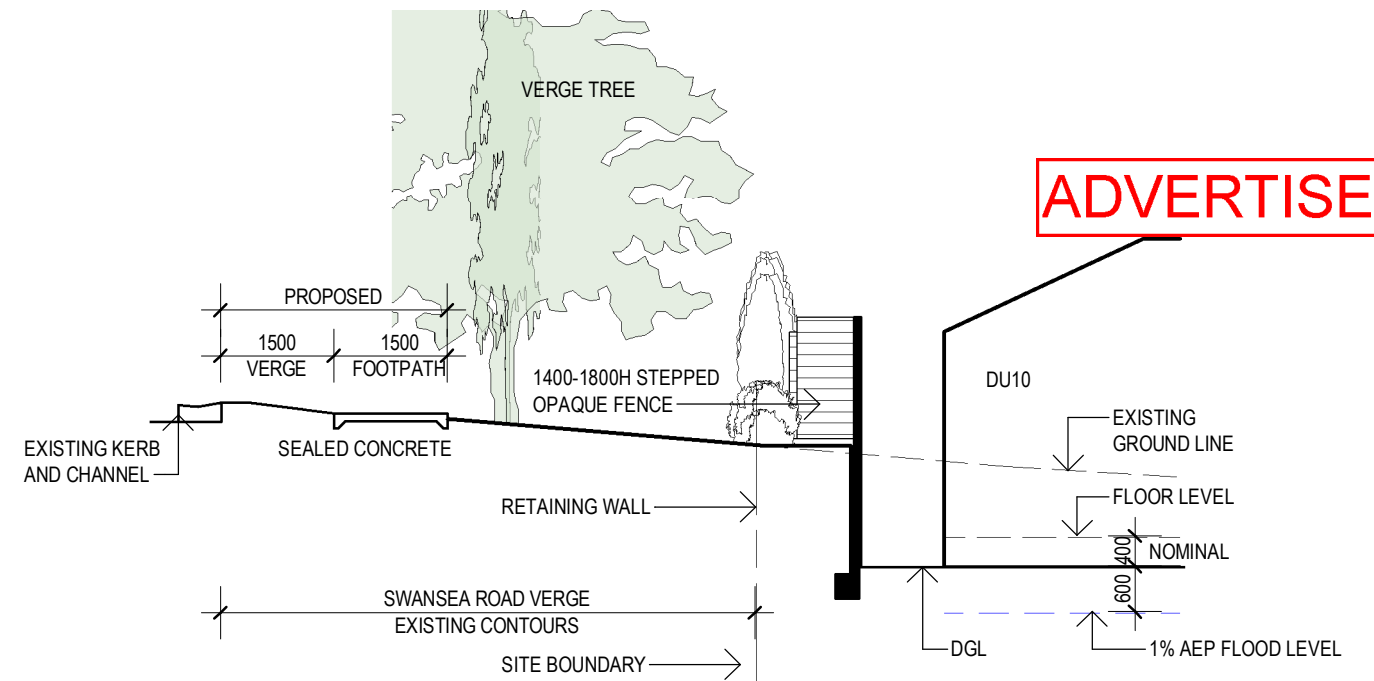
PART ELEVATION 2

1:150



PART SECTION 3

1:100

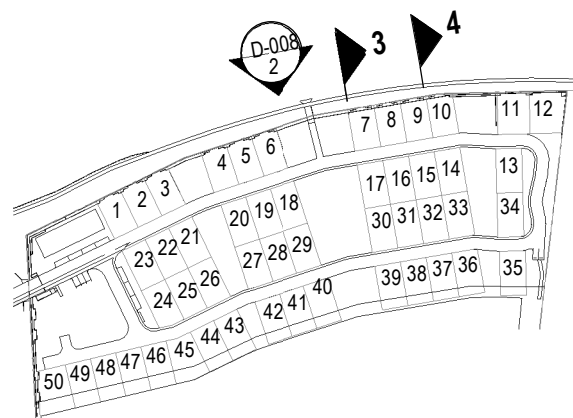


PART SECTION 4

1:100

ADVERTISED

REFER TO DALTON CONSULTING ENGINEERS (DCE) EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL). THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.



VGL = VERGE GROUND LEVEL @ BOUNDARY
DGL = DESIGN GROUND LEVEL @ BOUNDARY

PRELIMINARY
not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140

CLIENT LILYDALE MANAGEMENT SERVICES P/L

MONDOARCHITECTS
design@mondoarchitects.com.au T 0418 751 070
MONDOARCHITECTSPTY LTD ABN 64 085 992 990

DATE	DESCRIPTION	BY	REV
09.11.22	DEVELOPMENT APPLICATION ISSUE V5	JL	E
21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F
24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G
16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H
-	-	JL	J
26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K
04.07.23	RFI	JL	L
26.07.23	RFI UPDATES	JL	M
22.11.23	MW RFI UPDATE	JL	N

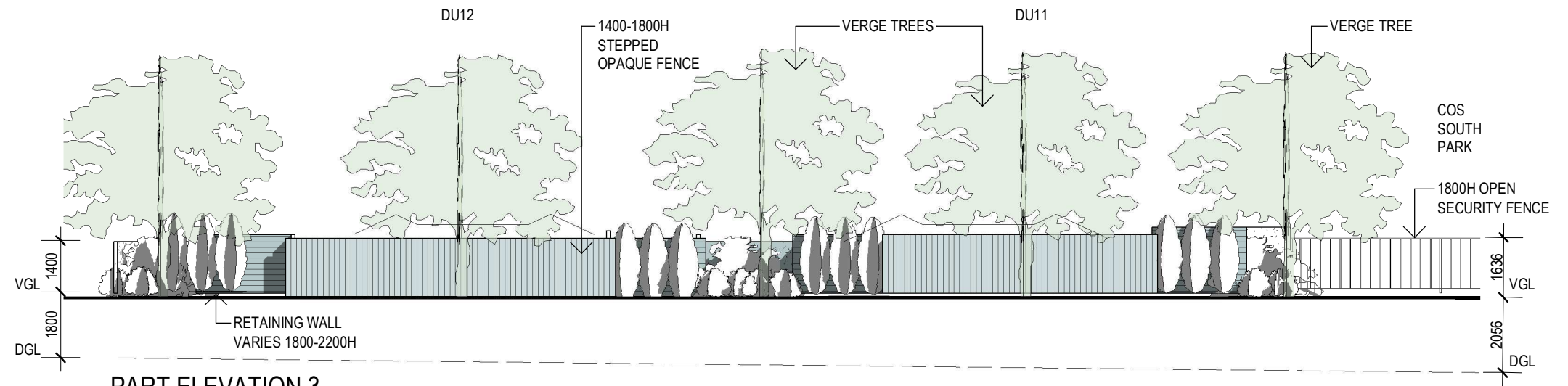
SHEET **D-008** A3
SWANSEA ROAD FENCE DETAILS

PROJECT **4967**
SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY

FENCE SCHEDULE

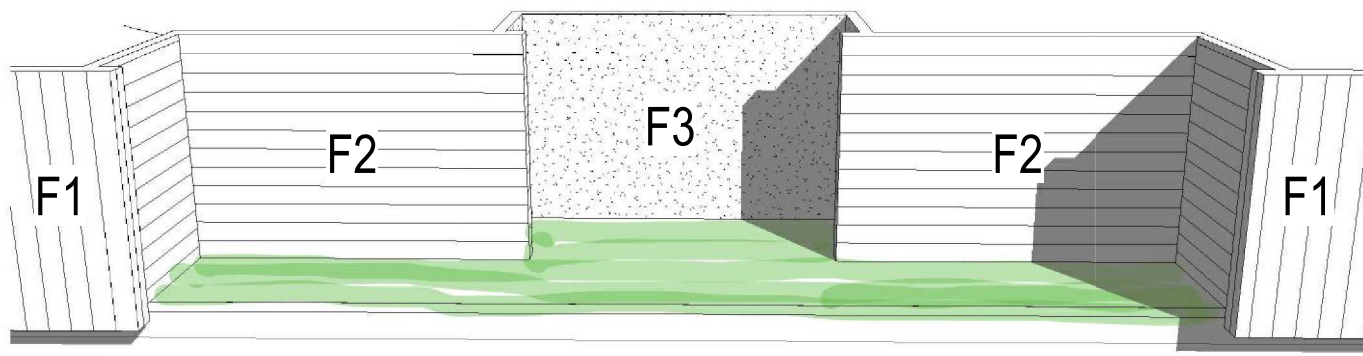
CODE	TYPE
F1	VERTICAL GROOVED PLY
F2	HORIZONTAL GROOVED PLY
F3	PAINTED PLY
F4	OPEN ALUMINIUM FENCE

REFER D-016 FOR COLOURS



PART ELEVATION 3

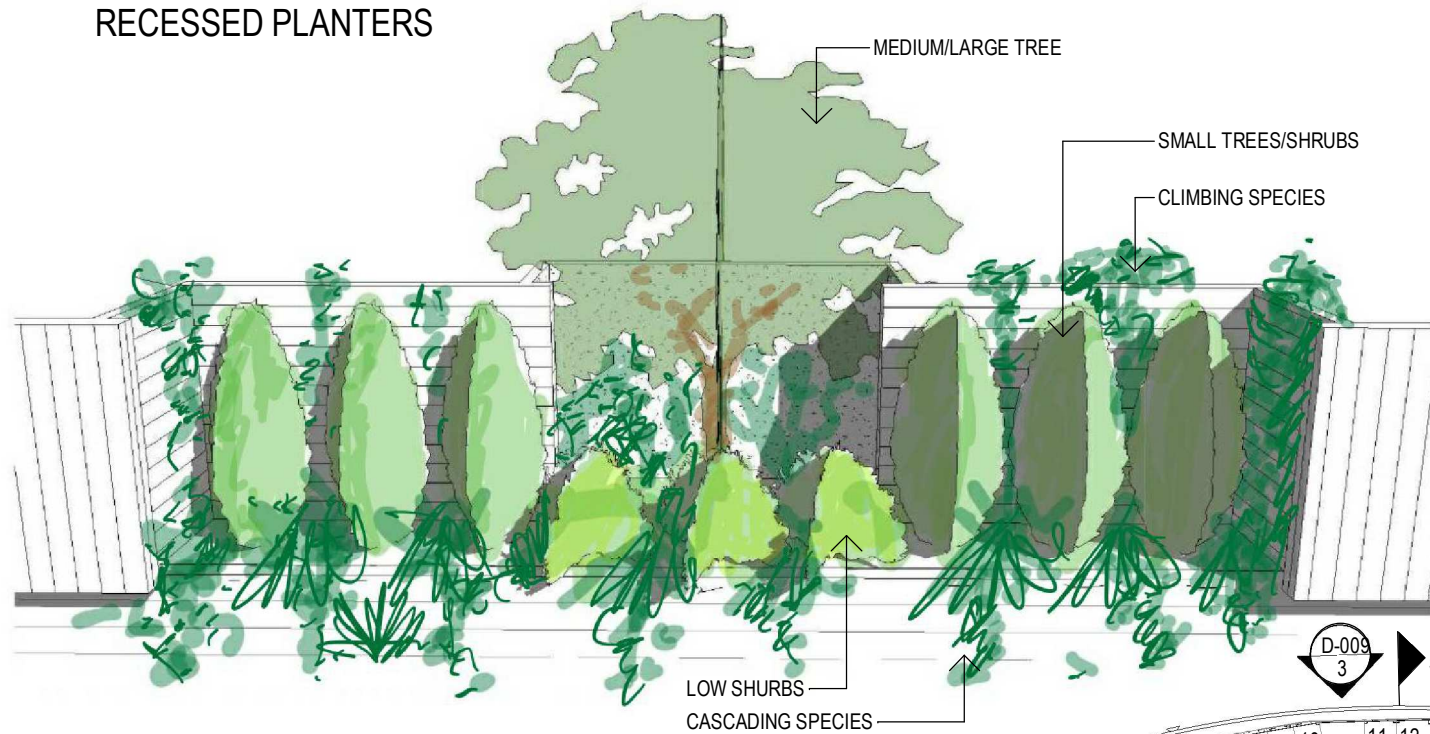
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COS OPEN FENCE EXEMPLAR

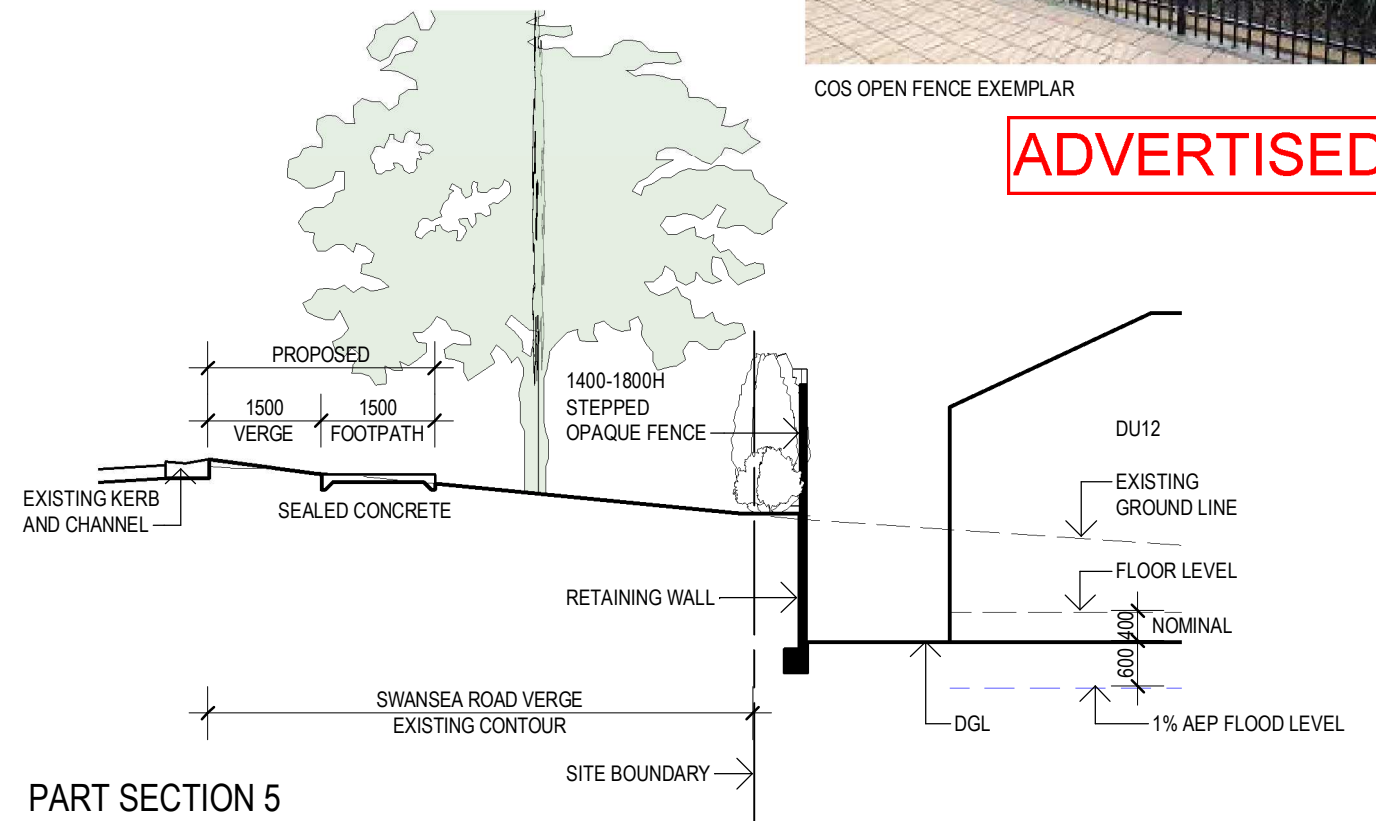
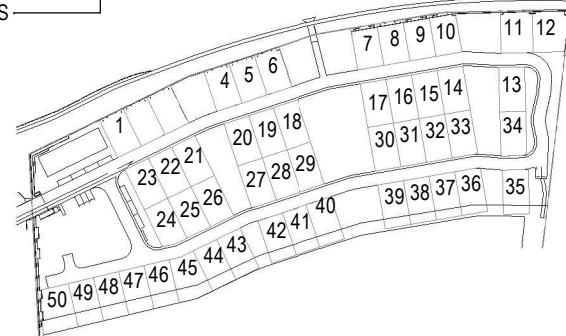
ADVERTISED

RECESSED PLANTERS



RECESSED PLANTERS WITH LANDSCAPE

REFER TO DALTON CONSULTING ENGINEERS (DCE) EARTHWORKS DRAWING FOR DESIGN GROUND LEVEL (DGL). THE MINIMUM DGL ON THE DEVELOPMENT PAD IS 110.45 AHD.



PART SECTION 5

1:100

VGL = VERGE GROUND LEVEL @ BOUNDARY
DGL = DESIGN GROUND LEVEL @ BOUNDARY

PRELIMINARY not for construction	SITE	DATE	DESCRIPTION	BY	REV	SHEET	A3
						D-009	
	375 SWANSEA ROAD LILYDALE VIC 3140	09.11.22	DEVELOPMENT APPLICATION ISSUE V5	JL	E	SWANSEA ROAD FENCE DETAILS	
		21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F		
		24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G		
		16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H		
	CLIENT LILYDALE MANAGEMENT SERVICES P/L	26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K	PROJECT 4967	
		04.07.23	RFI	JL	L		
		26.07.23	RFI UPDATES	JL	M		
		22.11.23	MW RFI UPDATE	JL	N		

SWANSEA
RESIDENTIAL VILLAGE
OVER 55 COMMUNITY



GROUND FLOOR
1 : 200

Area Schedule (GBA)

Name	Area
ENCL. AREA	452.00 m ²
ALFRESCO	78.70 m ²
SOUTH VERANDAH	40.11 m ²
MAIN ENTRANCE	12.14 m ²
ENTRY 2	7.64 m ²
	590.58 m ²



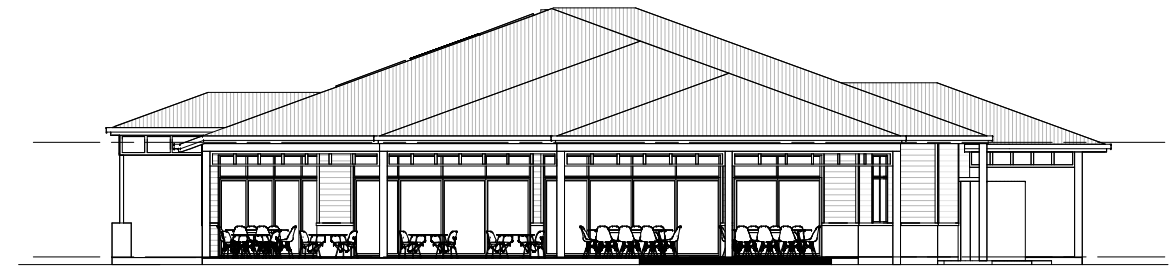
3D View 1

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

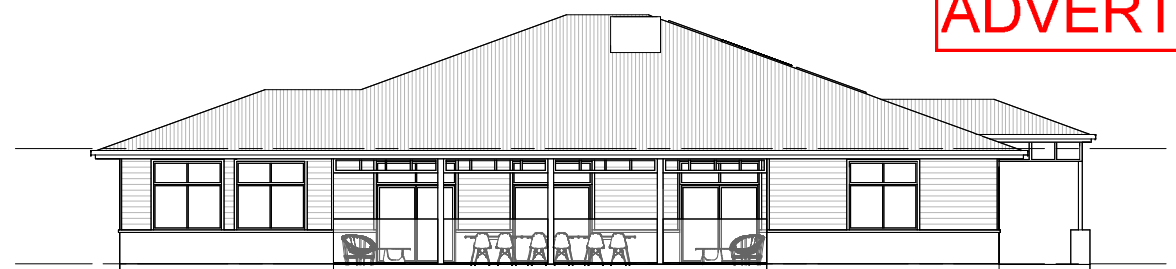
- Wall insulation min. R1.5
- Roof insulation min. R5.0
- Underfloor insulation min R2.0
- Double glazed clear window with standard frames.
- For metal framed dwellings, a thermal break must be provided.
- All sides of doors and windows must be sealed.
- Rangehood and exhaust fans must be provided with a flap that closes when not in use.
- Enable cross ventilation.
- All electric equipment - induction cooktop to be used.
- High efficiency electric pump hot water system.
- Maximum illumination power density (W/m2) in at least 90% of areas meet the requirements in Table J 6.2a of the NCC 2019 Vol 1.
- Solar PV System on the clubhouse roof (15 x 350W panels).



EAST (FRONT) ELEVATION
1 : 200



NORTH ELEVATION
1 : 200



SOUTH ELEVATION
1 : 200



WEST ELEVATION
1 : 200

COLOUR SCHEME 4 - WINDSPRAY

ADVERTISED

PRELIMINARY not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140

CLIENT LILYDALE MANAGEMENT SERVICES P/L

MONDOARCHITECTS
design@mondoarchitects.com.au T 0418 751 070
MONDOARCHITECTSPTY LTD ABN 64 085 992 990

DATE	DESCRIPTION	BY	REV
21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	E
24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	F
16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H
20.04.23	UNCONTROLLED	JL	J
26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K
04.07.23	RFI	JL	L
26.07.23	RFI UPDATES	JL	M
22.11.23	MW RFI UPDATE	JL	N

1:200	10m		
0	4	8	A3
SHEET			
D-010			

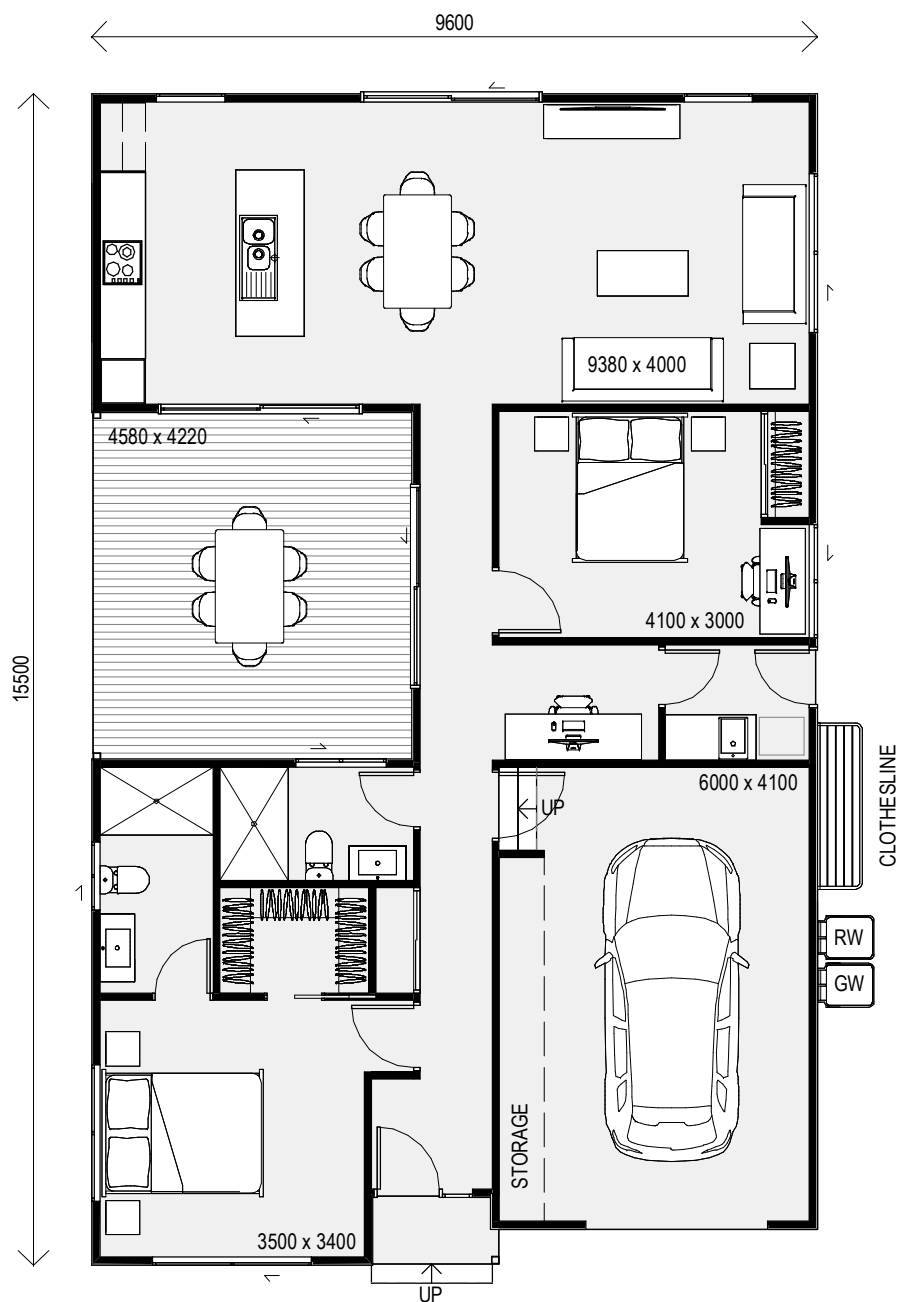
CLUB HOUSE

PROJECT
4967

SWANSEA 375

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

- Wall insulation min. R1.5
- Roof insulation min. R5.0
- Underfloor insulation min. R2.0
- Double glazed clear window with standard frames.
- For metal framed dwellings, a thermal break must be provided.
- All sides of doors and windows must be sealed.
- Rangehood and exhaust fans must be provided with a flap that closes when not in use.
- Enable cross ventilation.
- All electric equipment. Induction cooktop to be used.
- High efficiency electric pump hot water system.
- Max. Illumination of 4W/sqm or less
- EV infrastructure to be provided for all dwellings.
- No top hung awning window to be used.
- Water efficient fittings, fixtures and appliances.
- Low toxicity interior finishes.
- All dwellings provided with building fabric exceeding the minimum requirement by the Victorian Consolidation Regulations for Residential Tenancies (caravan and Moveable Dwellings Registration and Standards) Regulations 2020 - Schedule 3, Part 2, Section 3.
- Double glazed windows to all habitable room windows



SOLARIS 146 FLOOR AREA

Name	Area
ENCL. LIVING	124.70 m ²
PATIO	19.59 m ²
PORCH	1.50 m ²
	145.79 m ²

FLOOR PLAN

1 : 100



ELEVATION 1

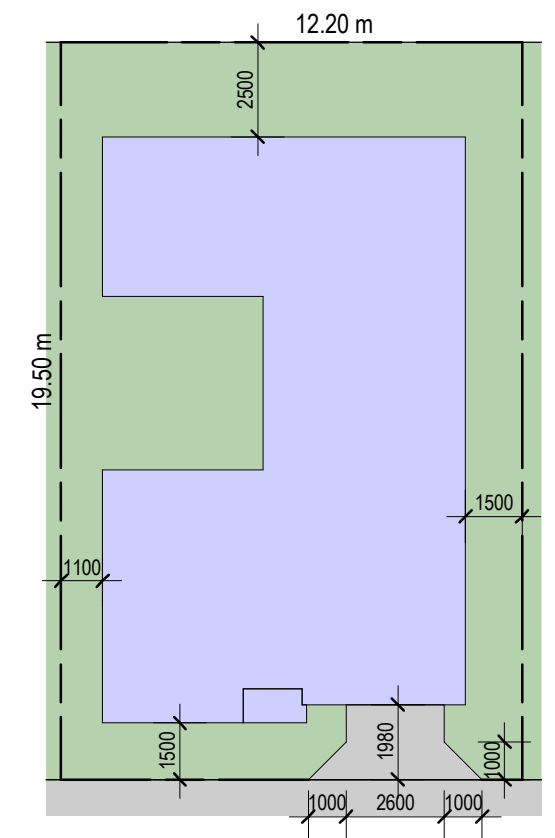


ELEVATION 2



ELEVATION 3

REFER D-002A - SITE PLAN - LEASE AREA

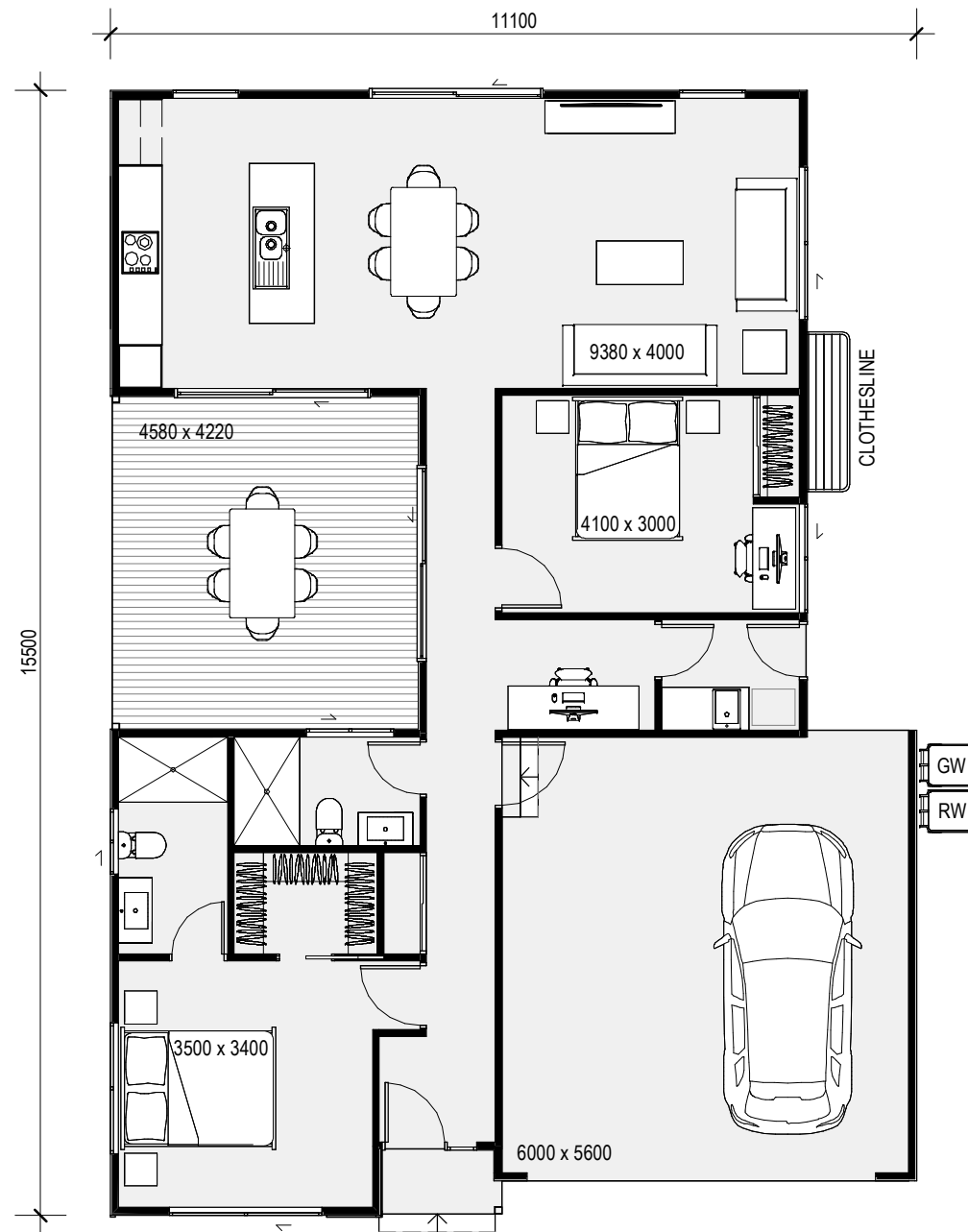


SITE PLAN

1 : 200

ADVERTISED

PRELIMINARY not for construction	SITE	DATE	DESCRIPTION	BY	REV	SHEET	A3
						D-011	
	375 SWANSEA ROAD LILYDALE VIC 3140	21.11.22	-	JL	E	HOUSE DESIGN - SOLARIS 146	SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY
	CLIENT LILYDALE MANAGEMENT SERVICES P/L	24.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F		
		16.12.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G		
	MONDOARCHITECTS design@mondoarchitects.com.au T 0418 751 070 MONDOARCHITECTSPTY LTD ABN 64 085 992 990	20.04.23	DEVELOPMENT APPLICATION ISSUE V8	JL	H		
		26.04.23	UNCONTROLLED	JL	J		
	PROJECT 4967	04.07.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K		
		26.07.23	RFI	JL	L		
	PROJECT 4967	26.07.23	RFI UPDATES	JL	M		
		22.11.23	MW RFI UPDATE	JL	N		



SOLARIS 155 FLOOR AREA	
Name	Area
ENCL. LIVING	98.73 m ²
GARAGE	34.82 m ²
PATIO	19.59 m ²
PORCH	1.48 m ²
	154.63 m ²

FLOOR PLAN
1 : 100



ELEVATION 1

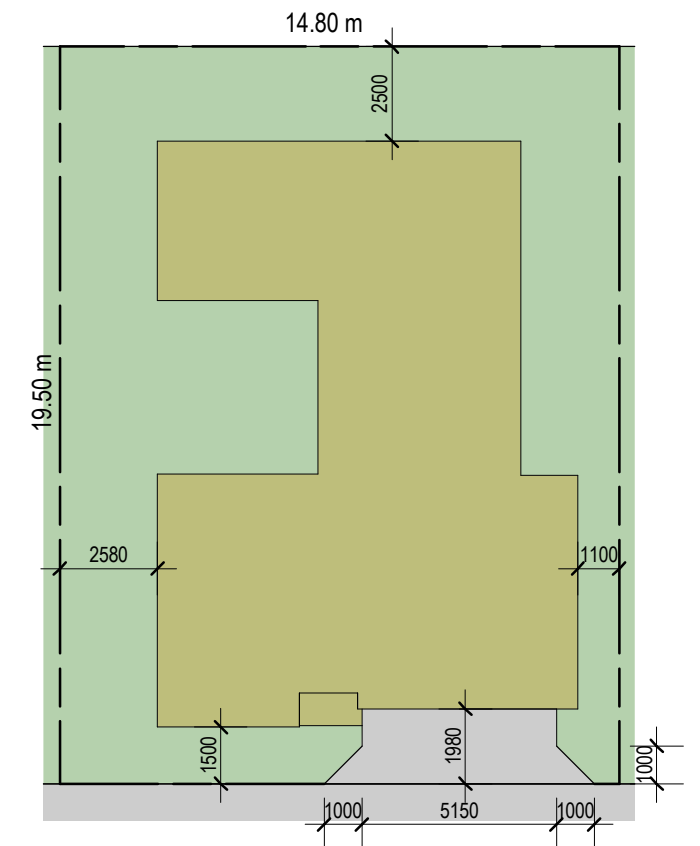


ELEVATION 2

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

- Wall insulation min. R1.5
- Roof insulation min. R5.0
- Underfloor insulation min. R2.0
- Double glazed clear window with standard frames.
- For metal framed dwellings, a thermal break must be provided.
- All sides of doors and windows must be sealed.
- Rangehood and exhaust fans must be provided with a flap that closes when not in use.
- Enable cross ventilation.
- All electric equipment. Induction cooktop to be used.
- High efficiency electric pump hot water system.
- Max. Illumination of 4W/sqm or less
- EV infrastructure to be provided for all dwellings.
- No top hung awning window to be used.
- Water efficient fittings, fixtures and appliances.
- Low toxicity interior finishes.
- All dwellings provided with building fabric exceeding the minimum requirement by the Victorian Consolidation Regulations for Residential Tenancies (caravan and Moveable Dwellings Registration and Standards) Regulations 2020 - Schedule 3, Part 2, Section 3.
- Double glazed windows to all habitable room windows

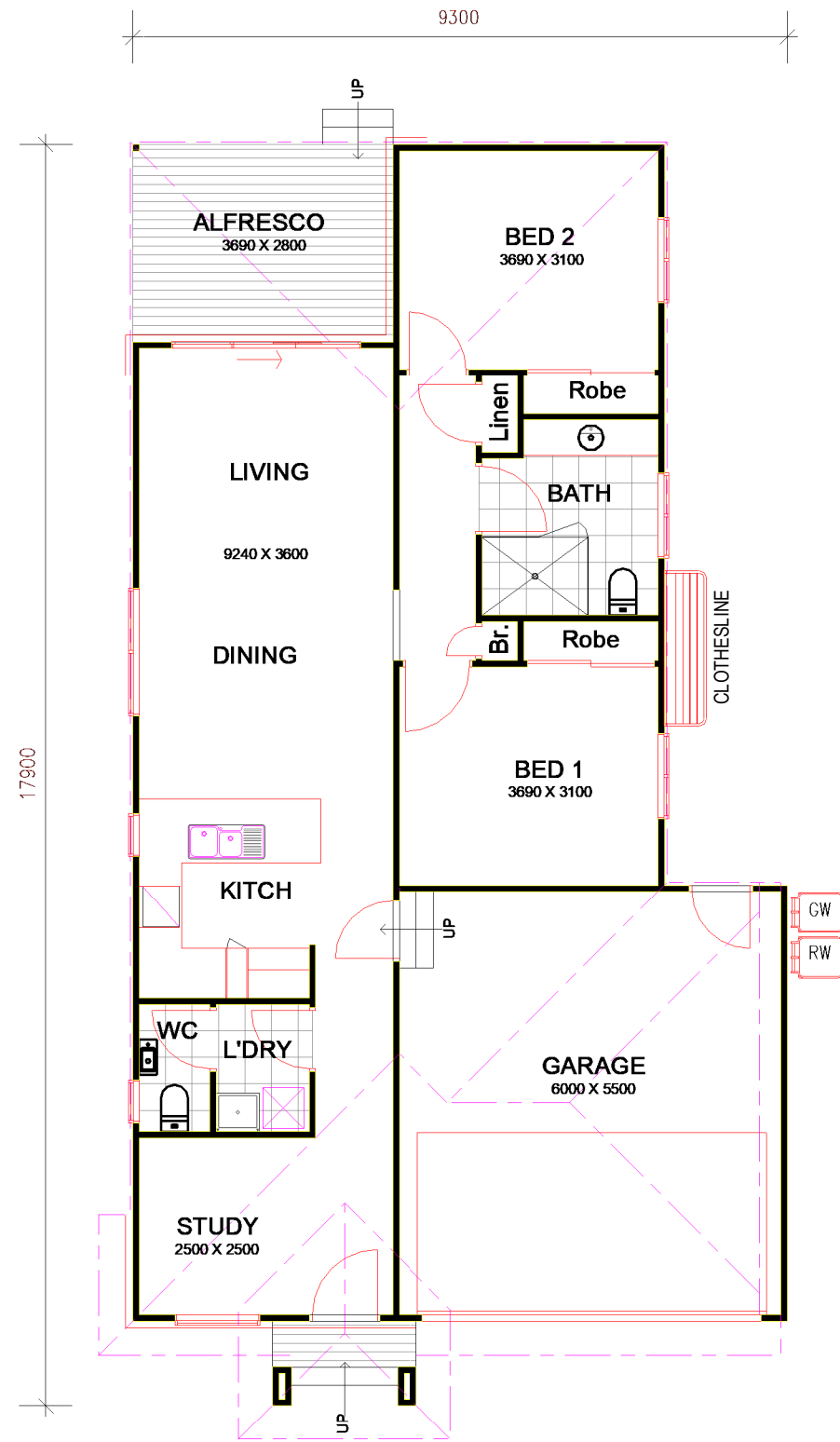
REFER D-002A - SITE PLAN - LEASE AREA



SITE PLAN
1 : 200

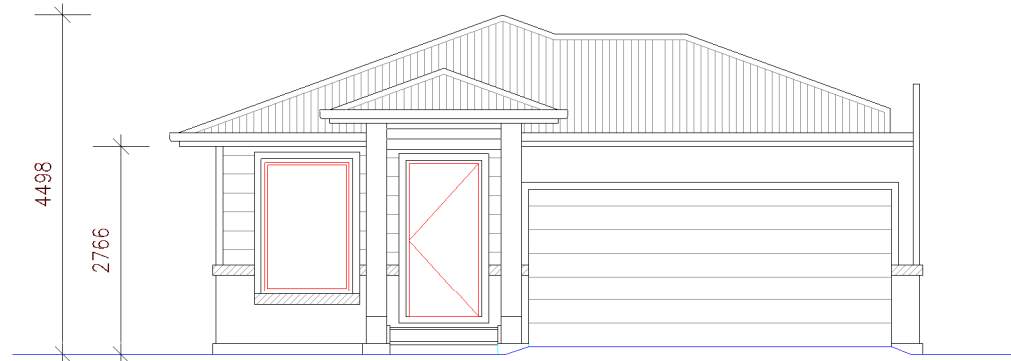
ADVERTISED

PRELIMINARY not for construction	SITE	DATE	DESCRIPTION	BY	REV	SHEET	A3
						D-012	
	375 SWANSEA ROAD LILYDALE VIC 3140	21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	E	HOUSE DESIGN - SOLARIS	155
		24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	F		
	LILYDALE MANAGEMENT SERVICES P/L	16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H	PROJECT 4967	SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY
		20.04.23	UNCONTROLLED	JL	J		
	MONDOARCHITECTS design@mondoarchitects.com.au T 0418 751 070 MONDOARCHITECTSPTY LTD ABN 64 085 992 990	26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K		
		04.07.23	RFI	JL	L		
		26.07.23	RFI UPDATES	JL	M		
		22.11.23	MW RFI UPDATE	JL	N		

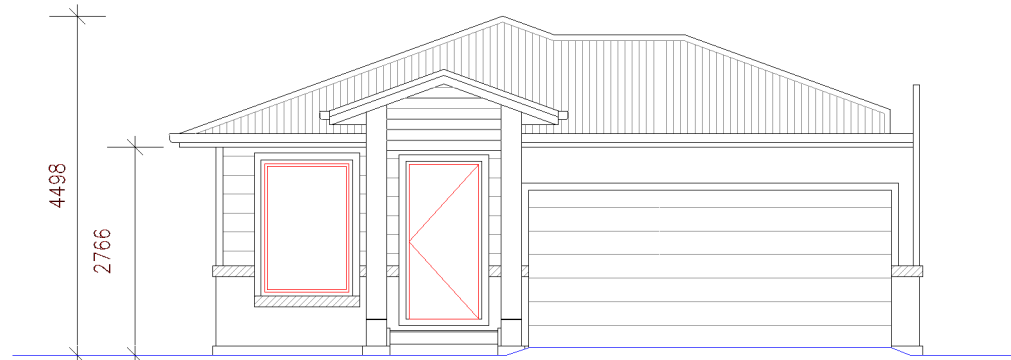


AREA ANALYSIS		
LIVING AREA	92.90	sqm
GARAGE	33.77	sqm
ALFRESCO	10.33	sqm
PORCH	2.46	sqm
TOTAL	139.46	sqm

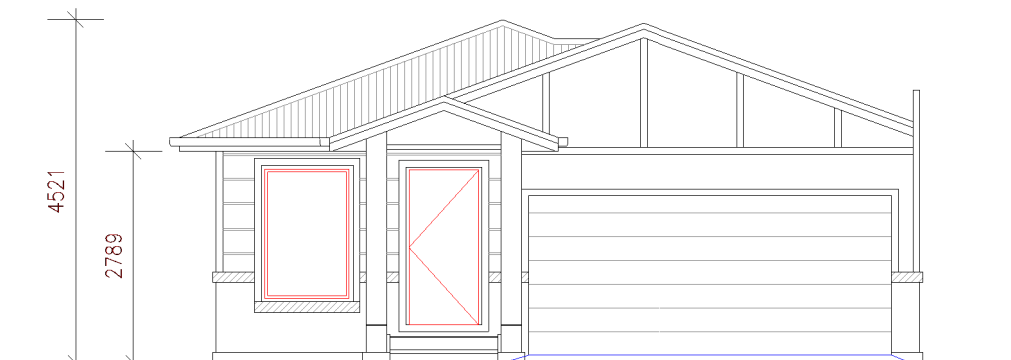
FLOOR PLAN
1 : 100



ELEVATION 1



ELEVATION 2



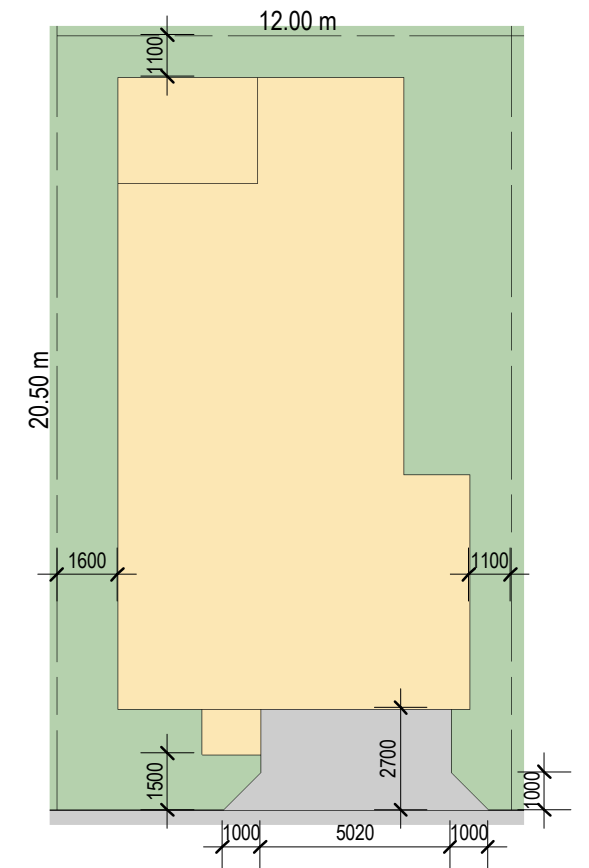
ELEVATION 3

ADVERTISED

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

- Wall insulation min. R1.5
- Roof insulation min. R5.0
- Underfloor insulation min. R2.0
- Double glazed clear window with standard frames.
- For metal framed dwellings, a thermal break must be provided.
- All sides of doors and windows must be sealed.
- Rangehood and exhaust fans must be provided with a flap that closes when not in use.
- Enable cross ventilation.
- All electric equipment. Induction cooktop to be used.
- High efficiency electric pump hot water system.
- Max. Illumination of 4W/sqm or less
- EV infrastructure to be provided for all dwellings.
- No top hung awning window to be used.
- Water efficient fittings, fixtures and appliances.
- Low toxicity interior finishes.
- All dwellings provided with building fabric exceeding the minimum requirement by the Victorian Consolidation Regulations for Residential Tenancies (caravan and Moveable Dwellings Registration and Standards) Regulations 2020 - Schedule 3, Part 2, Section 3.
- Double glazed windows to all habitable room windows

REFER D-002A - SITE PLAN - LEASE AREA



SITE PLAN
1 : 200

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DATE	DESCRIPTION	BY	REV	SHEET	A3
21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	E	D-013	
24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	F		
16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	G		
20.04.23	UNCONTROLLED ISSUE	JL	H		
26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	J		
04.07.23	RFI	JL	K		
26.07.23	RFI UPDATES	JL	L		
22.11.23	MW RFI UPDATE	JL	M		
			N		

PRELIMINARY not for construction

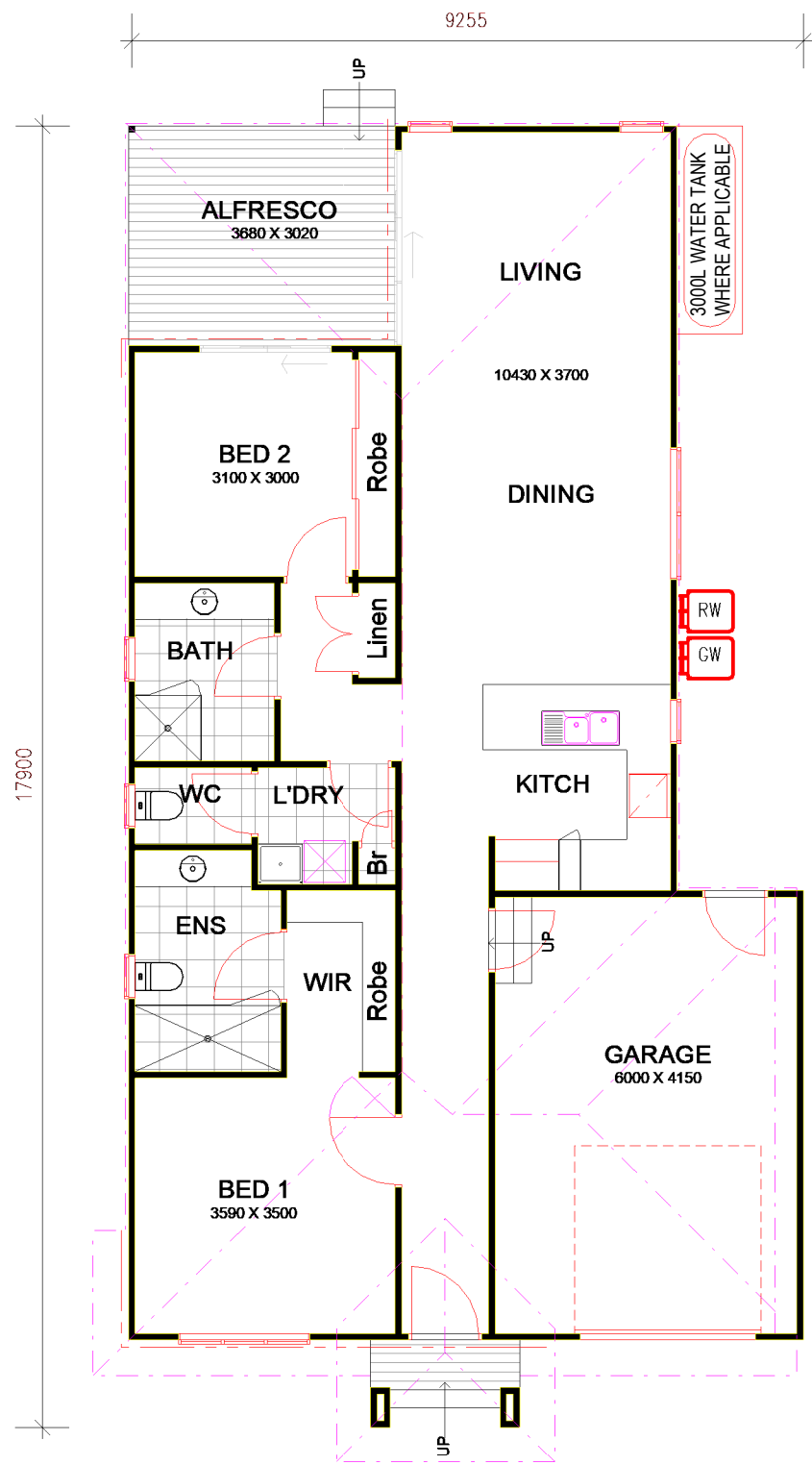
SITE 375 SWANSEA ROAD
LILYDALE VIC 3140

CLIENT LILYDALE MANAGEMENT SERVICES P/L

MONDO ARCHITECTS
design@mondoarchitects.com.au +61 7 3838 1638

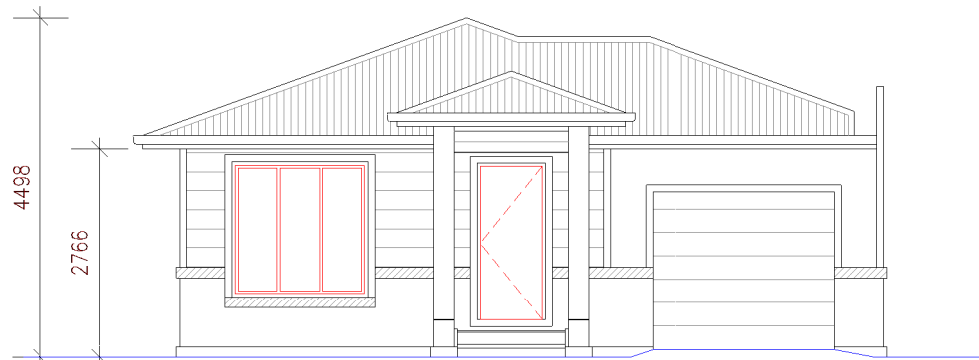
PROJECT 4967

HOUSE DESIGN -
IRONBARK
SWANSEA
RESIDENTIAL VILLAGE
OVER 55 COMMUNITY

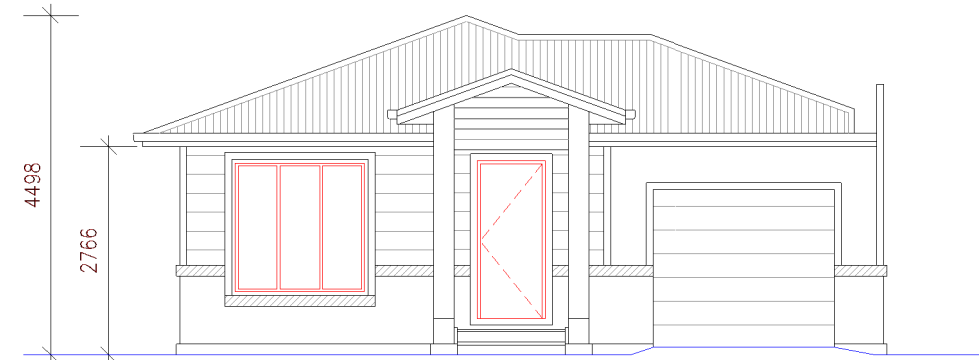


AREA ANALYSIS		
LIVING AREA	99.91	sqm
GARAGE	25.98	sqm
ALFRESCO	11.11	sqm
PORCH	2.46	sqm
TOTAL	139.46	sqm

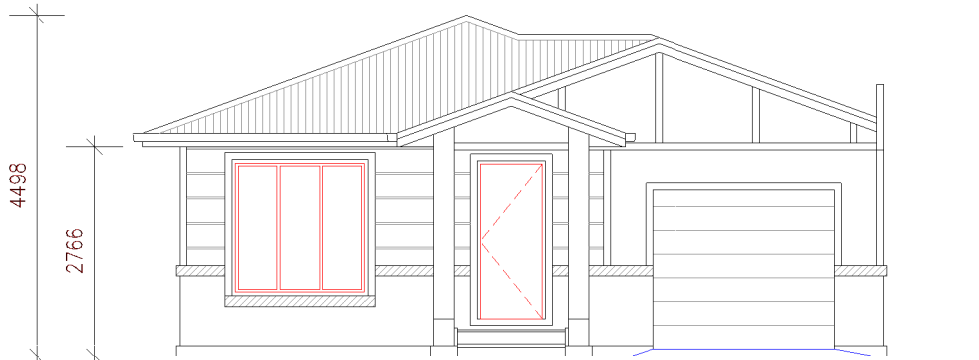
FLOOR PLAN
1:100



ELEVATION 1



ELEVATION 2

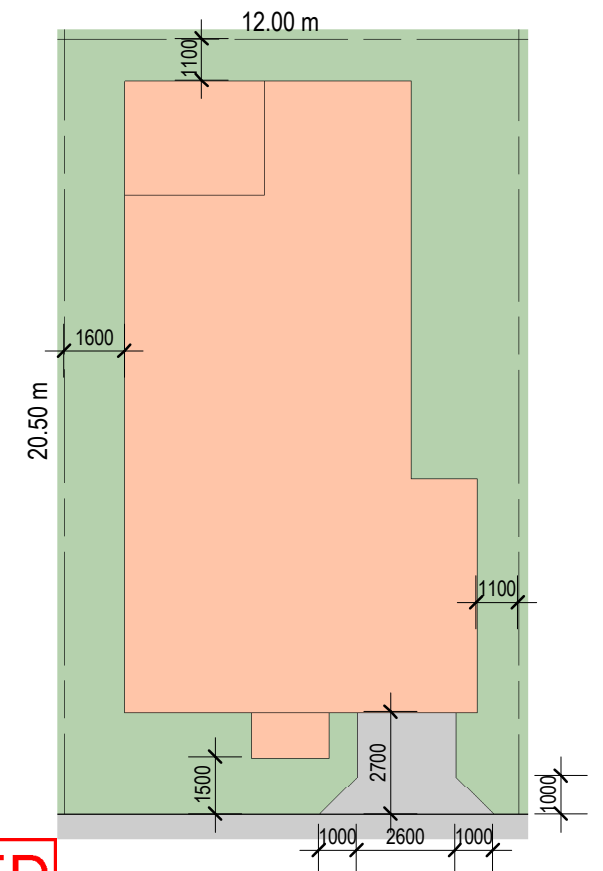


ELEVATION 3

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

- Wall insulation min. R1.5
- Roof insulation min. R5.0
- Underfloor insulation min. R2.0
- Double glazed clear window with standard frames.
- For metal framed dwellings, a thermal break must be provided.
- All sides of doors and windows must be sealed.
- Rangehood and exhaust fans must be provided with a flap that closes when not in use.
- Enable cross ventilation.
- All electric equipment. Induction cooktop to be used.
- High efficiency electric pump hot water system.
- Max. Illumination of 4W/sqm or less
- EV infrastructure to be provided for all dwellings.
- No top hung awning window to be used.
- Water efficient fittings, fixtures and appliances.
- Low toxicity interior finishes.
- All dwellings provided with building fabric exceeding the minimum requirement by the Victorian Consolidation Regulations for Residential Tenancies (caravan and Moveable Dwellings Registration and Standards) Regulations 2020 - Schedule 3, Part 2, Section 3.
- Double glazed windows to all habitable room windows

REFER D-002A - SITE PLAN - LEASE AREA



CARLISLE SITE
1:200

ADVERTISED

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DATE	DESCRIPTION	BY	REV	SHEET	A3
21.11.22	-	JL	E	D-014	
21.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F		
24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G		
16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL	H		
20.04.23	UNCONTROLLED ISSUE	JL	J		
26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K		
04.07.23	RFI	JL	L		
26.07.23	RFI UPDATES	JL	M		
22.11.23	MW RFI UPDATE	JL	N		

PRELIMINARY not for construction

SITE 375 SWANSEA ROAD
LILYDALE VIC 3140

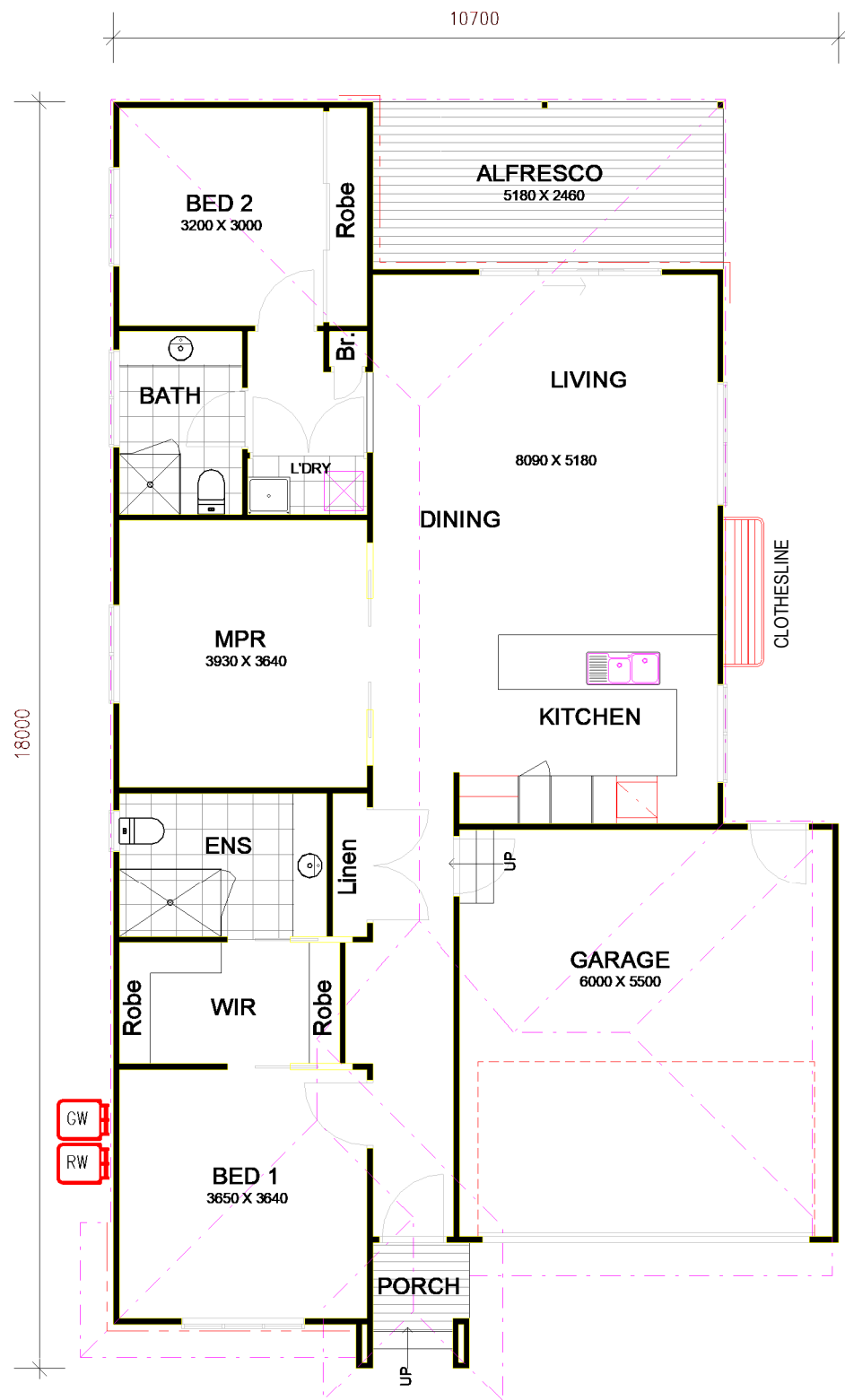
CLIENT LILYDALE MANAGEMENT SERVICES P/L

MONDO ARCHITECTS
design@mondoarchitects.com.au +61 7 3838 1638

PROJECT 4967

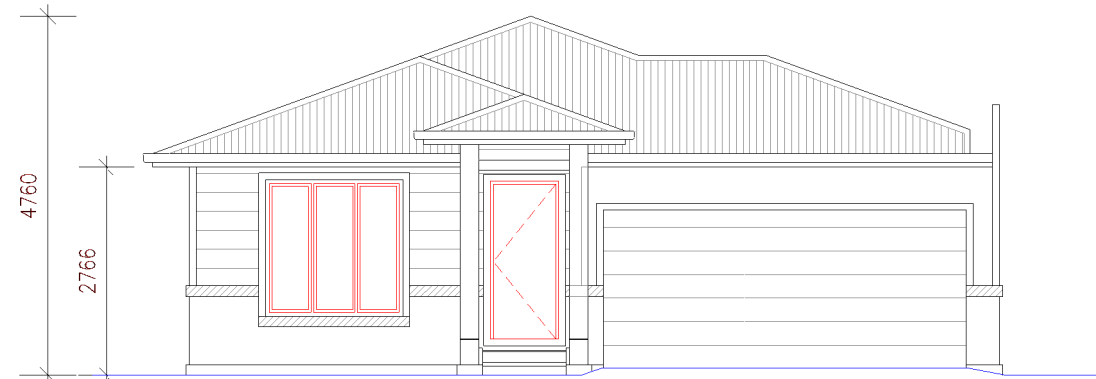
HOUSE DESIGN - CARLISLE

SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY

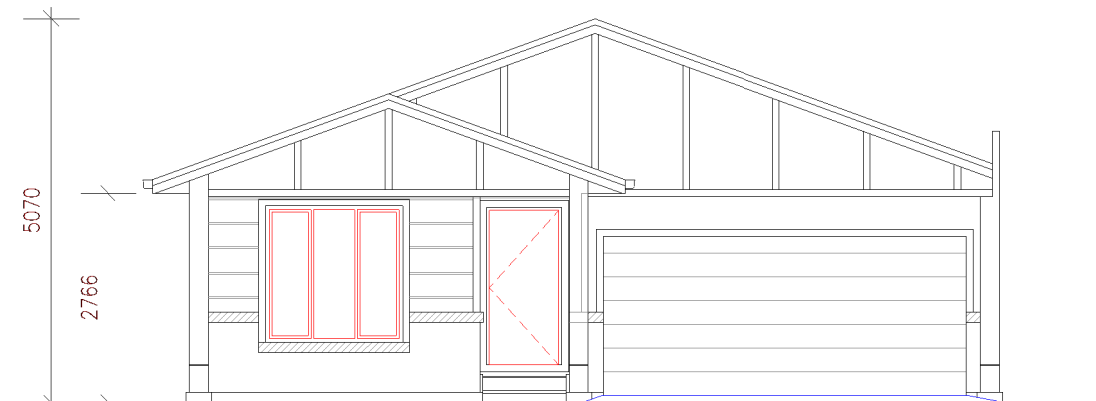


AREA ANALYSIS		
LIVING AREA	119.53	sqm
GARAGE	34.20	sqm
ALFRESCO	12.74	sqm
PORCH	2.81	sqm
TOTAL	169.28	sqm

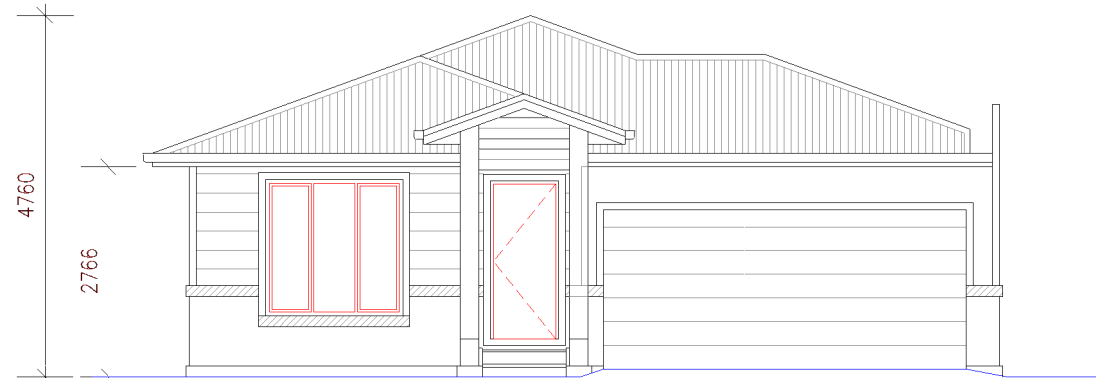
SHAMROCK PLAN & ELEV
1: 100



ELEVATION 1



ELEVATION 2

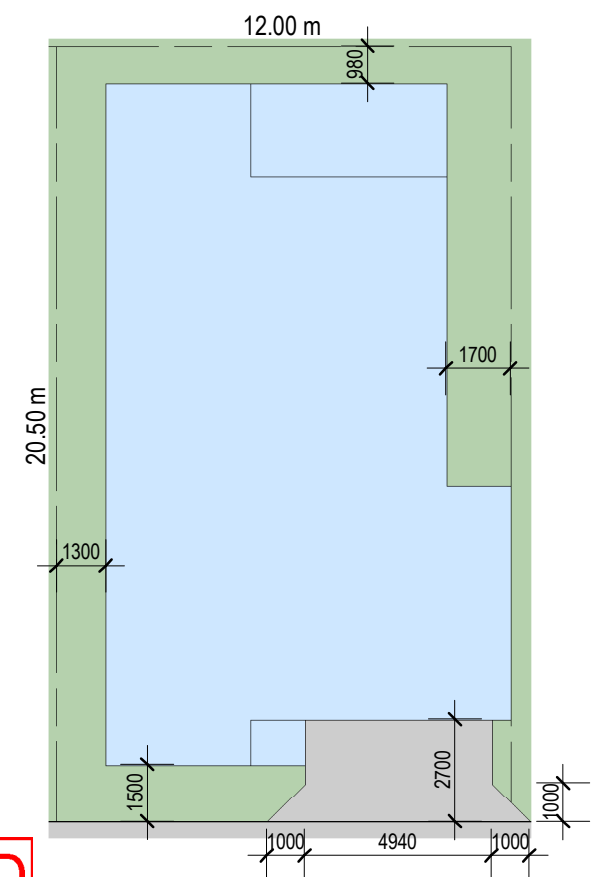


ELEVATION 3

ESD initiatives (refer Sustainability Management Plan by ADP Consulting Engineer for details)

- Wall insulation min. R1.5
- Roof insulation min. R5.0
- Underfloor insulation min. R2.0
- Double glazed clear window with standard frames.
- For metal framed dwellings, a thermal break must be provided.
- All sides of doors and windows must be sealed.
- Rangehood and exhaust fans must be provided with a flap that closes when not in use.
- Enable cross ventilation.
- All electric equipment. Induction cooktop to be used.
- High efficiency electric pump hot water system.
- Max. Illumination of 4W/sqm or less
- EV infrastructure to be provided for all dwellings.
- No top hung awning window to be used.
- Water efficient fittings, fixtures and appliances.
- Low toxicity interior finishes.
- All dwellings provided with building fabric exceeding the minimum requirement by the Victorian Consolidation Regulations for Residential Tenancies (caravan and Moveable Dwellings Registration and Standards) Regulations 2020 - Schedule 3, Part 2, Section 3.
- Double glazed windows to all habitable room windows

REFER D-002A - SITE PLAN - LEASE AREA



SHAMROCK SITE
1: 200

ADVERTISED

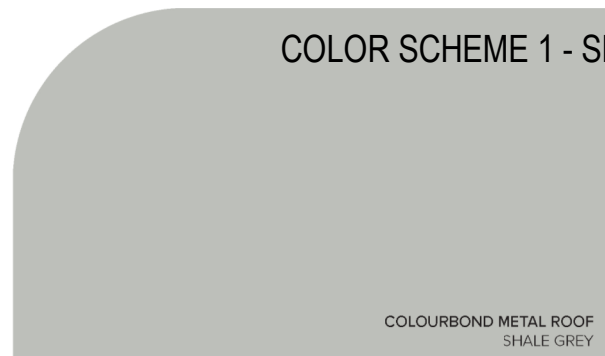
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PRELIMINARY not for construction	SITE	CLIENT	DATE	DESCRIPTION	BY	REV	SHEET	A3
	375 SWANSEA ROAD	LILYDALE MANAGEMENT SERVICES P/L	21.11.22	-	JL	E	D-015	
	LILYDALE VIC 3140		24.11.22	DEVELOPMENT APPLICATION ISSUE V6	JL	F		
			16.12.22	DEVELOPMENT APPLICATION ISSUE V7	JL	G		
			20.04.23	DEVELOPMENT APPLICATION ISSUE V8	JL	H		
			20.04.23	UNCONTROLLED ISSUE	JL	J		
			26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL	K		
			04.07.23	RFI	JL	L		
			26.07.23	RFI UPDATES	JL	M		
			22.11.23	MW RFI UPDATE	JL	N		

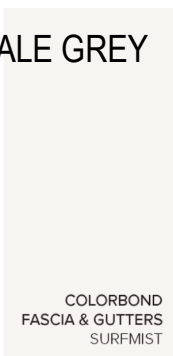
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HOUSE DESIGN - SHAMROCK
PROJECT 4967
SWANSEA RESIDENTIAL VILLAGE OVER 55 COMMUNITY

COLOR SCHEME 1 - SHALE GREY



COLOURBOND METAL ROOF
SHALE GREY

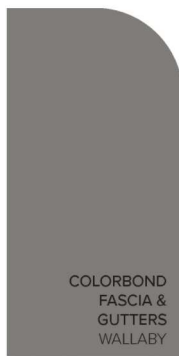


COLORBOND
FASCIA & GUTTERS
SURFMIST

COLOR SCHEME 2 - WALLABY



COLOURBOND METAL ROOF
COLORBOND WALLABY



COLORBOND
FASCIA &
GUTTERS
WALLABY



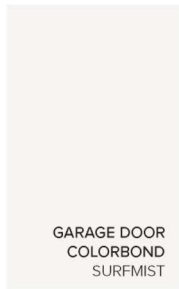
LIGHTWEIGHT CLADDING
WATTYL WINTER MUSHROOM



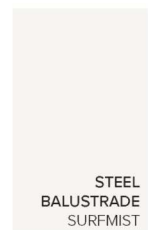
GARAGE DOOR
COLORBOND
SHALE GREY



LIGHTWEIGHT CLADDING
ALABASTER



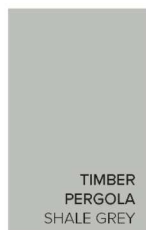
GARAGE DOOR
COLORBOND
SURFMIST



STEEL
BALUSTRADE
SURFMIST



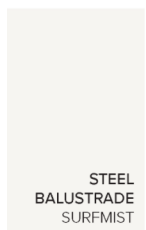
ALUMINIUM
WINDOW
FRAMES
SURFMIST



TIMBER
PERGOLA
SHALE GREY



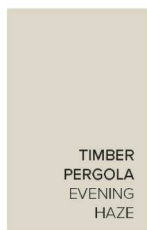
ENTRY CANOPY
LIGHTWEIGHT CLADDING
WATTYL WHITE



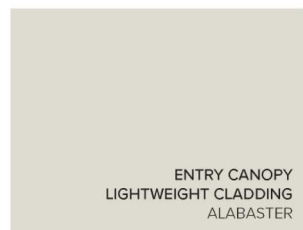
STEEL
BALUSTRADE
SURFMIST



ALUMINIUM
WINDOW
FRAMES
SURFMIST



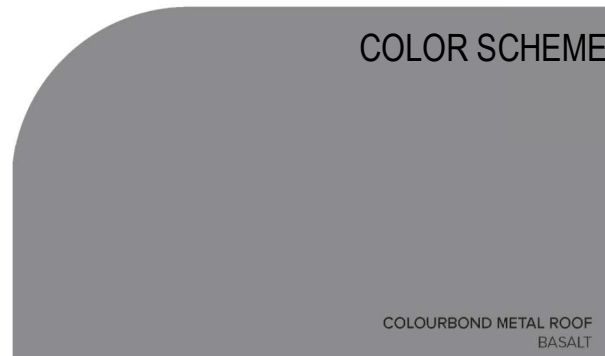
TIMBER
PERGOLA
EVENING
HAZE



ENTRY CANOPY
LIGHTWEIGHT CLADDING
ALABASTER



COLOR SCHEME 3 - BASALT

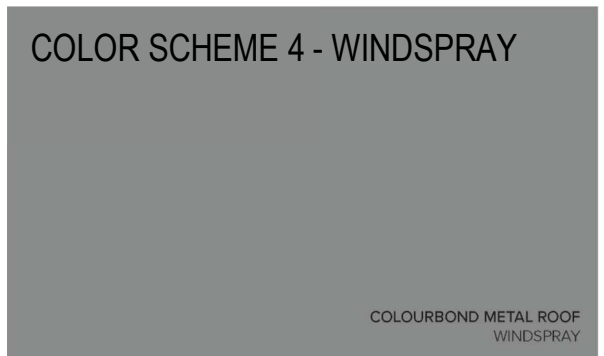


COLOURBOND METAL ROOF
BASALT



COLORBOND
FASCIA & GUTTERS
BASALT

COLOR SCHEME 4 - WINDSPRAY



COLOURBOND METAL ROOF
WINDSPRAY



COLORBOND
FASCIA &
GUTTERS
SHALE GREY



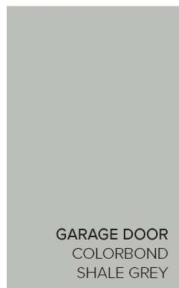
LIGHTWEIGHT CLADDING
WATTYL SEAGULL



GARAGE DOOR
COLORBOND
SURFMIST



LIGHTWEIGHT CLADDING
WATTYL EARTHCHILD



GARAGE DOOR
COLORBOND
SHALE GREY



ALUMINIUM
WINDOW
FRAMES
COLORBOND
BASALT



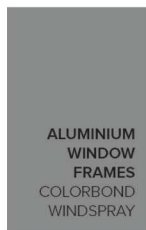
STEEL
BALUSTRADE
COLORBOND
BASALT



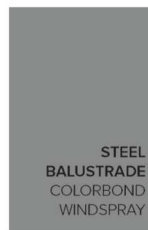
TIMBER
PERGOLA
BASALT



ENTRY CANOPY
LIGHTWEIGHT CLADDING
WATTYL SURFMIST



ALUMINIUM
WINDOW
FRAMES
COLORBOND
WINDSPRAY



STEEL
BALUSTRADE
COLORBOND
WINDSPRAY



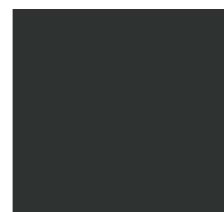
TIMBER
PERGOLA
WINDSPRAY



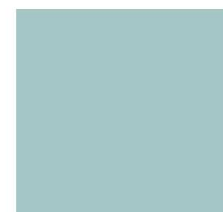
ENTRY CANOPY
LIGHTWEIGHT CLADDING
WATTYL WHITE



ADVERTISED



F4 - OPEN ALUMINIUM FENCE
DULUX MONUMENT



F2 - HORIZONTAL GROOVED
PLY FENCE - RECESSED
DULUX ZENITH HEIGHTS



F1 - VERTICAL GROOVED PLY
FENCE - FORWARD
DULUX LA PINETA



F3 - RENDERED PLY FENCE -
RECESSED
DULUX RAINMAKER



SLEEPER RETAINING WALL
DULUX SILKWORT

PRELIMINARY
not for construction

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SITE	DATE	DESCRIPTION	BY	REV	SHEET	A3
375 SWANSEA ROAD LILYDALE VIC 3140	-	-	-	-	E F G	
	24.11.22	DEVELOPMENT APPLICATION ISSUE V7	JL		D-016	EXTERNAL FINISHES
	16.12.22	DEVELOPMENT APPLICATION ISSUE V8	JL		H	
	-	-	-	-	J	
	26.04.23	DEVELOPMENT APPLICATION ISSUE V9	JL		K	
	04.07.23	RFI	JL		L	
	26.07.23	RFI UPDATES	JL		M	
	22.11.23	MW RFI UPDATE	JL		N	

CLIENT: LILYDALE MANAGEMENT SERVICES P/L

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PROJECT: 4967

SWANSEA
RESIDENTIAL VILLAGE
OVER 55 COMMUNITY